

Town Clerk's Office | Town of Brookfield  
645 N. Janacek Road | Brookfield, WI 53045  
Phone: (262)796-3788 | Fax: (262)796-0339



## MEETING NOTICE

A regular meeting of the Town of Brookfield's Architectural Review Committee will be held on Wednesday, May 10, 2023 at the TOWN HALL, 645 N. Janacek Road, Brookfield, WI:

May 10, 2023

6:00 P.M.

ARCHITECTURAL  
REVIEW COMMITTEE

### AGENDA:

1. Confirmation of meeting notice.
2. Approval of Minutes.
3. S-0523-01 Rosie Olle (Michaels Signs Inc.), representing Lucida Tax and Accounting Solutions, is requesting review and approval of 1 new sign face on a monument sign and 3 wall signs, located at 20633 Watertown Court.
4. S-0523-02 Julie Braun (TLC Sign, Inc), representing Linde Welding Gas and Equipment Center is requesting review and approval of 3 proposed sign face changes to 1 monument sign and 2 wall signs, located at 100 North Janacek Road.
5. SD-0523-01 Corey Wallace (Wesenberg Architects), representing Quest Interiors, for a recommendation for Preliminary and Final Approval of a new building consisting of an office, product showroom, and product storage and shipping area located at 21055 Crossroads Circle.
6. Adjourn

<b>S</b>	<b>Sign</b>
<b>SD</b>	<b>Site Development</b>

Bryce Hembrook, AICP  
Town Planner

# Town of Brookfield

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DEPARTMENT OF DEVELOPMENT SERVICES  
BRYCE HEMBROOK, TOWN PLANNER

## ARCHITECTURAL CONTROL COMMITTEE MINUTES JANUARY 11, 2023

A meeting of the Architectural Control Committee of the Town of Brookfield was called to order by Chairman Dean Pearson at 6:02pm on Wednesday, January 11, 2023, at the Town of Brookfield Town Hall, 645 North Janacek Road, Brookfield, Wisconsin. Also present at the meeting was Town Planner Bryce Hembrook, Town Supervisor Steve Kohlmann, and Committee members Alan Lee, John Charlier, Matt Paris, and Richard Diercksmeier.

1. **Confirmation of meeting notice**  
Town Planner Hembrook reported receipt of verbal confirmation from the Clerk's Office that the meeting was noticed as required.
  
2. **Minutes.**  
Chairman Pearson noted that Item #3 for Starbucks should note that the logo sign was approved in lieu of the previously approved letter sign. A motion was made and seconded (Kohlmann / Lee) to approve the December 14, 2022 minutes as presented, with the suggested amendment.  
**The motion was voted on and carried unanimously. Paris abstained.**
  
3. **ER-0123-01 Sunday Bougher (SGA Design Group) representing Sam's Club, is requesting review and approval of proposed exterior alterations including installing new bollards, replacing textured concrete, and replacing two roof top units, located at 600 North Springdale Road.** Planner Hembrook described the exterior changes. A motion was made and seconded (Kohlmann / Charlier) to **approve** proposed exterior alterations including installing new bollards, replacing textured concrete, and replacing two roof top units, located at 600 North Springdale Road.  
**The motion was voted on and carried unanimously.**
  
4. **SD-0123-01 Lou Petros for a recommendation for Final Approval of a building addition to the principal structure located at 1480 North Springdale Road.** Planner Hembrook reviewed the proposed addition and site plans. Lighting materials were not submitted in the packet materials however, lighting fixtures were shared later in the presentation. Planner Hembrook informed the ACC that there are no exit doors on the north and east sides of the building, therefore no exterior lighting is required on those sides. Planner Hembrook indicated that final comments from the town engineer and the fire department are in the process of being completed. Chairman Pearson inquired if the two parcels have been combined. John Riley with Sullivan Design Build was present, and responded that a new CSM has been created, but are waiting for the temporary construction easement issue to be addressed. Chairman Pearson inquired about the reference of "bituminous" on page C-100 of the plans. Mr. Riley indicated that it would be removed from the plans, as it is most likely a carryover error from a subsequent sheet (C-300).

Planner Hembrook reported that in communications with the fire department, a concern was raised about the ability to reach the northeast corner in the event of a fire. A fire hydrant is suggested within 150' of the fire department connection, and having access to an existing gate in the southeast corner to utilize the hydrant. Gravel versus pavement was discussed, and Planner Hembrook reported that anything west of the fence along the parking lot is to be hard surface, with the rest of the lot being gravel. Primary use for the gravel portion is for truck turn-around. Chairman Pearson expressed disapproval of gravel. It was clarified that a portion at the loading dock has concrete, including the french drain. Landscaping review has not been finalized by the town engineer. Mr. Riley provided additional information regarding placement of low growing shrubs and arborvitae. Additional landscaping between the parking area and the road was suggested at a previous meeting. Storm water management was reviewed. Chairman Pearson inquired about the potential stacking of trucks onto Springdale Road. Planner Hembrook clarified that the gate is open during regular business hours. The swing gate is 24' wide. Supervisor Kohlmann indicated he would not move forward with approval without seeing lighting specifics. Mr. Riley had a copy of the lighting plan with him that passed around for review, and he clarified that there is one light pole in the parking lot. Lighting is LED, direct downward. All lighting walpacs will be changed. The committee was satisfied with the lighting as presented. Committee Member Paris inquired about possible erosion with the gravel surface. Mr. Riley responded that the gravel would be hard packed, so erosion is not a concern. There will be protection added to the inlets of the french drain for silt. Planner Hembrook stated that a tracking pad would be in place near the gate to keep gravel from getting onto Springdale Road. A motion was made and seconded (Kohlmann / Paris) to **recommend** final approval to the Plan Commission of a building addition to the principal structure located at 1480 North Springdale Road, subject to approval of a Certified Survey Map for combination of two properties.

**The motion was voted on and passed 5-1, with Chairman Pearson opposed.**

5.

**Adjourn**

A motion was made and seconded (Charlier/Lee) to **adjourn** at 6:52 pm.

**The motion was voted on and carried unanimously.**



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for All of Us®

## TOWN OF BROOKFIELD ARCHITECTURAL REVIEW COMMITTEE STAFF REPORT

TO: Architectural Review Committee

FROM: Bryce Hembrook, AICP  
Town Planner

REPORT DATE: May 4, 2023  
ACC MEETING DATE: May 10, 2023

RE: ARC Staff Report – May Agenda Items

### Lucida Tax and Accounting – Sign Permit

Applicant: Rosie Olle (Michaels Signs Inc) representing Lucida Tax and Accounting

Location: 20633 Watertown Court

Request: Approval of Permanent Signage

- Requesting to replace 1 existing monument sign with new sign face and add 3 wall signs.
- Monument sign
  - Requesting to reface existing sign with a double-sided, internally illuminated sign. .
  - Approximately 37.45 square feet.
  - Sign background color will be gray and letters will consist of blue and black. The sign background is not proposed to be illuminated, only the lettering and address.
  - The address numerals will be at least 8” in height.
  - Proposed sign meets all other sign code requirements.
- 3 Wall signs.
  - Proposed wall sign above loading dock.
    - Face lit channel letters with gray aluminum raceway and blue and black lettering.
    - Sign area = 51 square feet
    - Sign is proposed to be located above the loading dock on the southwest side of the building. This sign will not face a public right-of-way.
  - Proposed wall sign on southeast side of building.
    - Face lit channel letters with gray aluminum raceway and blue and black lettering.
    - Sign area = 79.95 square feet
  - Proposed wall sign (labeled “building sign on plans”) near entrance.
    - Single-sided, internally illuminated building sign.
    - Gray background with black and blue lettering.
    - Sign area = 60 square feet
  - Total building frontage along Watertown Court = 230 feet.

Engineers | Architects | Planners | Scientists

**Short Elliott Hendrickson Inc.**, 501 Maple Avenue, Delafield, WI 53018-9351  
SEH is 100% employee-owned | [sehinc.com](http://sehinc.com) | 262.646.6855 | 888.908.8166 fax

- Sign code states “[sign] area limited to 0.8 square feet of signage for each linear foot of building frontage on a public right-of-way, with a maximum area for any one sign not to exceed 100 square feet.”
- Total signage allowed = 184 square feet for wall supported signage.
- Total signage proposed = 190.95 square feet. Exceeds allowable signage.
- According to the sign code, “In the interest of architectural integrity, this chapter expressly allows regulation of all signs in the Town to be based upon the finding of the Architectural Control Committee that such signage will not violate the purpose and intent of this chapter. This chapter cannot prevent the Committee from establishing more or less stringent requirements and conditions prior to approval of any sign application.” Thus, the Committee can approve this exception

Recommended Action: Per the discretion of the Committee.

Linde Welding Gas and Equipment Center – Sign Permit

Applicant: Julie Braun (TLC Sign, Inc) representing Linde Welding Gas and Equipment Center

Location: 100 North Janacek Road

Request: Approval of Permanent Signage

- Requesting to replace three existing signs with new tenant signage. Consists of 2 wall signs and 1 monument sign.
- Monument sign
  - Proposed sign area = 49 square feet
  - Background color is light and dark blue and white lettering.
  - Illuminated.
- Wall sign (Sign #3 Aluminum Replacement Faces in packet)
  - Proposed sign area = 164 square feet.
  - Building frontage along Interstate 94 = 300 feet
    - Total allowable signage area = 240 square feet
  - Background color is light and dark blue and white lettering.
  - Sign code generally limits an individual wall sign to 100 square feet. The Committee can make an exception. Since this is replacing an existing sign and facing the interstate, staff believes this is justifiable.
  - Not illuminated.
- Wall sign (Sign #3 Flex Replacement Faces in packet)
  - Proposed sign area = 84 square feet.
  - Building frontage along Janacek = 217.66.
    - Total allowable signage area = 174.13 square feet
  - Background color is light and dark blue, white, and consists of white and blue lettering.
  - Illuminated. Approximately half of the sign has a white background. The Committee can choose to approve as presented or required that the background be changed to a different color or opaque.
- This sign will meet all other requirements as set forth in the sign code.

Recommended Action: Approve the sign permits as presented.

Quest Interiors – Preliminary and Final Approval

Applicant: Corey Wallace (Wesenberg Architects) representing Quest Interiors

Location: 21055 Crossroads Circle

Request: Preliminary and final approval of new building consisting of an office, product showroom, and product storage and shipping area

- Zoning District = B-2 Limited General Business District
- Currently a vacant 3.68 acre parcel in an office park.
- Proposed structure = 23,431 square foot one-story facility for Quest Interiors consisting of an office area, product showroom, and product storage/shipping area. The business's main customer is local home builders and contractors. It is essentially considered a building supply store.
  - Office area = 3,470 square feet
  - Showroom = 5,803 square feet
  - Warehouse area = 14,158 square feet
- Approximately 49 parking stalls currently proposed; 39 in customer parking area and 10 stalls intended for staff.
  - According to the code, 35 parking spaces are required. Stall per land use breakdown below:
    - Office area = 14
    - Warehouse = 12
    - Showroom = 9
- Proposed setbacks:
  - Front = 108'
  - Side = 109' south and 50' north
  - Rear = 121'
  - All setbacks will meet code requirements.
- Sum total of floor area
  - Proposed = 14.6% of lot area.
  - Required = No less than 6,000sf or 15% of the lot area, whichever is less. Shall not exceed 50% of lot area.
  - Requirement is met.
- Proposed building height appears to be approximately 28'.
- There are single-family residences directly to the west of the subject property, but only one of the adjacent parcels is zoned residential. The majority of trees along the western property line are proposed to remain to maintain the buffer between the residential properties and the new building.

*Preliminary Approval Requirements*

The purpose of preliminary project review is to determine that proposed structures are properly located and to review the project plans. The project plans, in the maximum scale of one-inch equals 40 feet, for any multifamily residential, commercial, industrial, park, or institutional development shall include a plat of survey prepared by a registered land surveyor showing the location, boundaries, dimensions, elevations, existing and proposed grades to the Town of Brookfield datum. In addition, the plat of survey shall show the location, elevation, existing grades, and use of any abutting lands and their structures within 100 feet of the subject site. This information was provided by the applicant and included in the plan sets.

The Committee needs to review the proposed uses and sizes of the following:

- subject site
- existing and proposed structures
- existing and proposed easements
- streets and other public ways

- off-street parking, loading areas, driveways, ingress and egress plans
- landscaping and open space utilization plans
- existing highway access restrictions
- existing and proposed street, side, and rear yards.

When deciding whether to approve the preliminary plans, the Committee should consider these elements.

#### *Final Approval Requirements*

The purpose of final project review shall be to determine that this chapter and other Town ordinances have been fully complied with, and to authorize the issuance of a building permit, subject to the developer receiving approval of the Wisconsin Department of Safety and Professional Services (SPS) of the building plans, if required, including architectural details and lighting plan. The Plan Commission may require appropriate sureties to guarantee the completion of grading, landscaping, and construction and paving of parking and loading areas within an approved time schedule. Final approval granted by the Town Board shall expire within 12 months unless necessary building permits have been applied for and issued.

#### *Development Review Team Feedback*

The Development Review Team has reviewed the proposed plans and all of their comments and/or concerns are described in the review letter from the Town Engineer. Overall, town staff believes these items can be addressed prior to final approval from the Town Board.

#### *Next Steps*

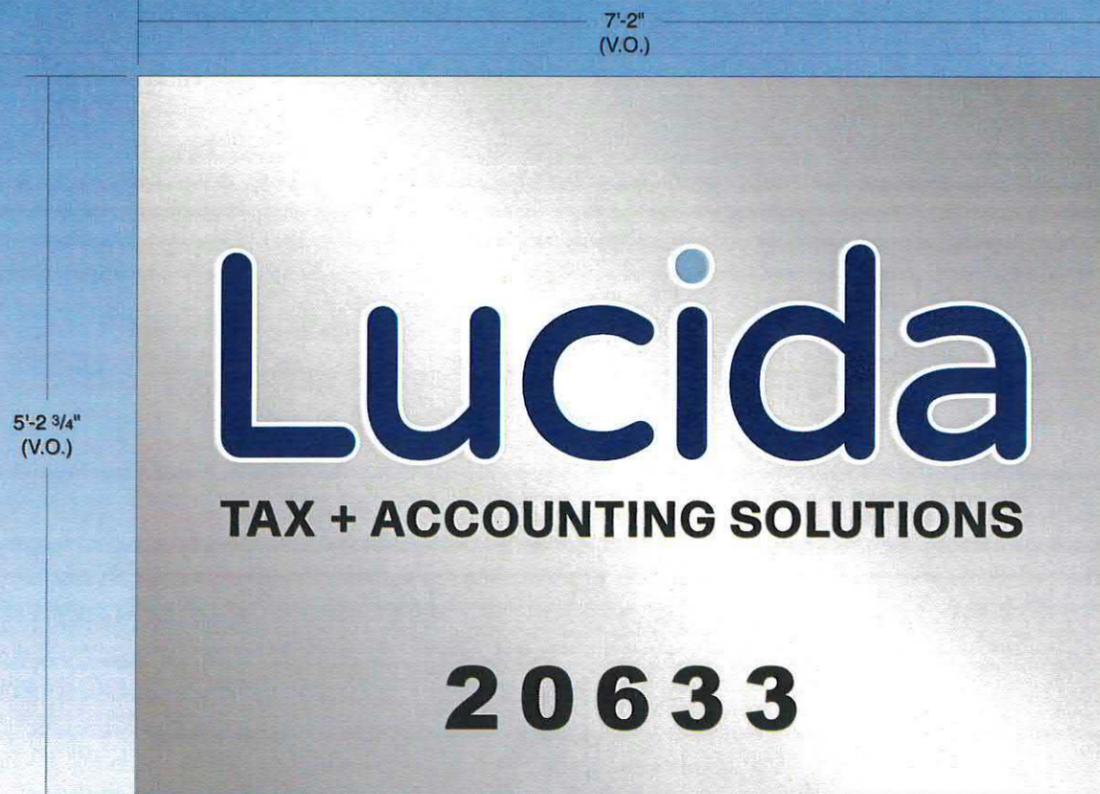
If the preliminary and final approval is granted by this committee, the Plan Commission will also review preliminary and final plans at the next available meeting. If approved by Plan Commission, the Town Board will review and grant final approval. All three boards may decide to only approve preliminary and review final plans at a later date.

#### Staff Recommendation

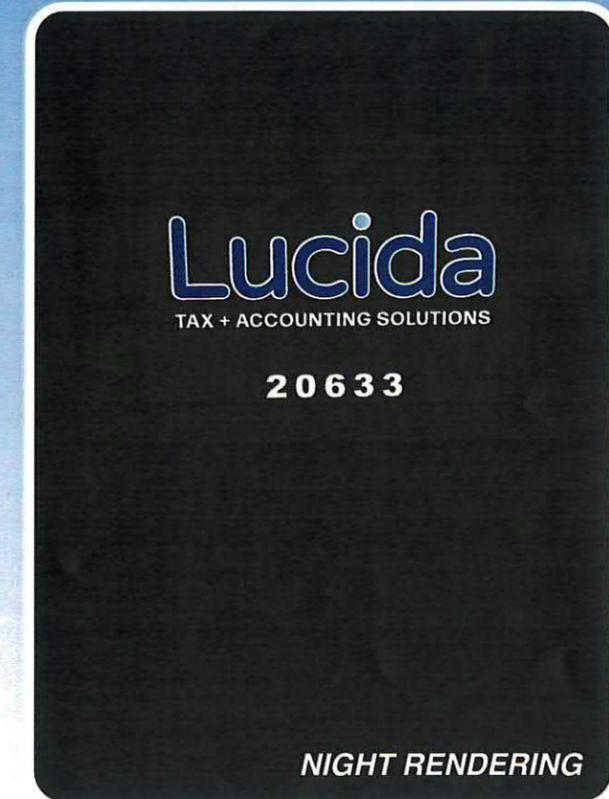
Per the discretion of the Plan Commission.

**MONUMENT SIGN**

**SIGN REFACE**



SIGN LAYOUT



NIGHT RENDERING

**LUCIDA / MONUMENT SIGN**

- REFACE ONE (1) EXISTING DOUBLE SIDED, INTERNALLY ILLUMINATED MONUMENT SIGN
- NEW WHITE LEXAN FACES W/ 3M VINYL GRAPHICS
- REPAINT EXISTING CABINET W/ NEW MAP PAINTED FINISHES
- LED CONVERSION W/ INTERNAL POWER SUPPLY

**\*FIELD VERIFY MEASUREMENTS**

Client: LUCIDA TAX & ACCOUNTING SOLUTIONS	Date: 3-30-23	REVISION		Illumination: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES TYPE <b>LED</b> <input type="checkbox"/> SINGLE SIDED <input checked="" type="checkbox"/> DOUBLE SIDED	Paint Colors (AkzoNobel): <input type="checkbox"/> PANTONE COOL GRAY 3C <input type="checkbox"/> PANTONE COOL GRAY 9C	Vinyl Film Colors (3M Scotchcal): <input checked="" type="checkbox"/> 3M SULTAN BLUE TRANS. <input type="checkbox"/> DIGITALLY PRINTED <input type="checkbox"/> 3M BLACK PERFORATED <input type="checkbox"/> 3M SILVER MET. TRANS.	Client Signature: _____ Signature _____ Date _____
	Drawing #: 1(1)	△ 3-31-23	△	Electrical Requirements: <input type="checkbox"/> 120 <input type="checkbox"/> 277	Quantity: 1		NOTICE: Michael's Signs, Inc. does NOT provide primary electrical to sign location - <b>RESPONSIBILITY OF OTHERS</b>  The ideas and designs contained in this original and unpublished drawing are the sole property of Michael's Signs, Inc. and MAY NOT BE USED OR REPRODUCED in whole or in part without written permission.
Address: 20633 WATERTOWN CT	Sheet: 1 of 1	△	△	Sign Specifications: NOTED ABOVE			
City, State: WAUKESHA, WI 53186	Scale: 3/4"=1'	△	△				
Sales Rep: STEPHEN PROCHASKA	Designer: KD	△	△				

NOTE: DUE TO THE PHYSICAL LIMITATIONS OF THE PAPER AND INK INVOLVED IN THIS PRINTING PROCESS, THIS CUSTOM ARTWORK IS NOT INTENDED TO PROVIDE AN EXACT MATCH TO THE ACTUAL FINISHED PAINTED PRODUCT.



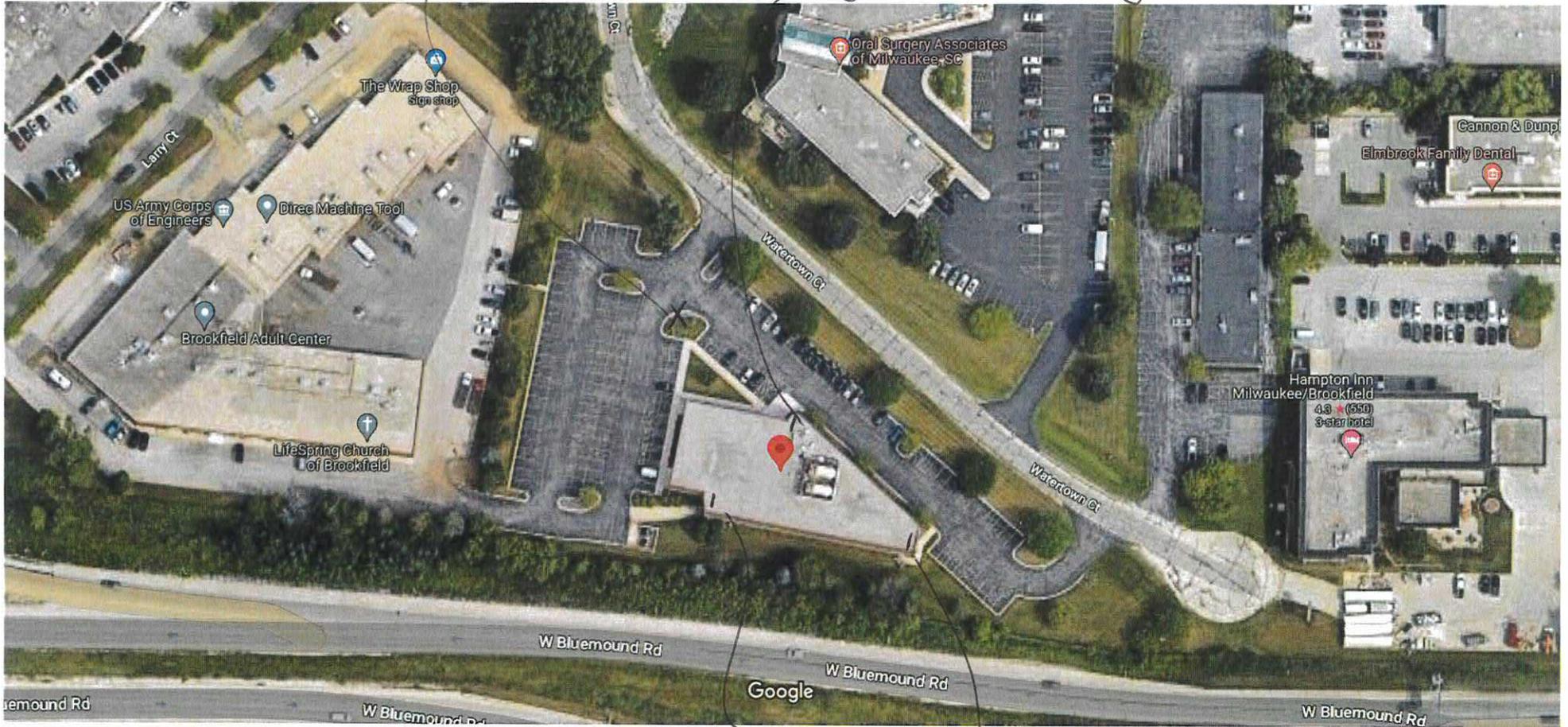




20633 Watertown Ct

existing monument sign to be reworked

Proposed bldg. entrance sign



Proposed sign - truck bay

Proposed sign



0 108.50 Feet

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**Notes:**

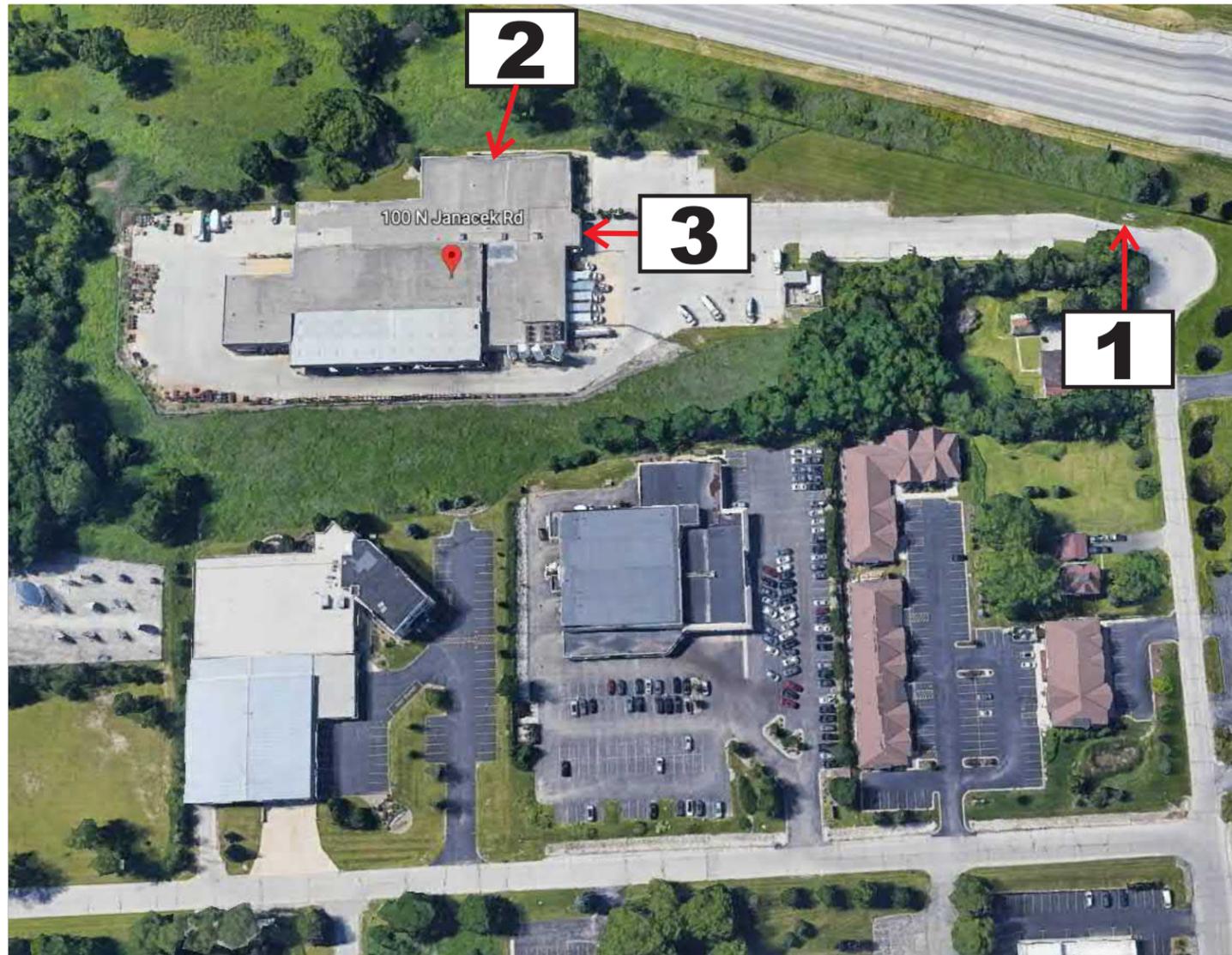
Printed: 4/11/2023





# Welding Gas & Equipment Center

100 N. Janacek Rd. - Brookfield, WI



SIGN #	PAGE#	SIGN TYPE
1	2	Lexan Replacement Faces
2	3	Aluminum Replacement Face
3	4	Flex Replacement Face

Client: Linde

Location: 100 N. Janacek Rd.  
Brookfield, WI 53045

Date: 2/01/23

Salesperson: JH

Dwg. By: MEB

Dwg No: \_\_\_\_\_

Revised: \_\_\_\_\_

DWG# **1** OF **4**

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302 NORTH WASHINGTON ST.  
ORWIGSBURG, PENNSYLVANIA 17961  
PHONE 570-366-2311  
E-Mail: [signsetc@bartush.com](mailto:signsetc@bartush.com)  
Web Address: [www.bartush.com](http://www.bartush.com)



**Proposed**



**Existing**  
**Existing Sign Dimensions: 49" H X 120" W**

- Pantone 7462 C
  - Pantone 639 C
  - VO
  - Cabinet Size**
- \* According to survey



**Sign #1 – Lexan Replacement Faces**

*Manufacture & Install (2) 48.50" x 119.50" lexan replacement faces with vinyl graphics.*

**SIGN ELEVATION**

Scale: 1/2"=1'-0"

Client: \_\_\_\_\_

**Linde**

Location: \_\_\_\_\_

— 100 N. Janacek Rd.—  
 — Brookfield, WI 53045 —

Date: \_\_\_\_\_

**2/01/23**

Salesperson: \_\_\_\_\_

**JH**

Dwg. By: \_\_\_\_\_

**MEB**

Dwg No: \_\_\_\_\_

Revised: \_\_\_\_\_

DWG# **2** OF **4**

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302 NORTH WASHINGTON ST.  
 ORWIGSBURG, PENNSYLVANIA 17961  
 PHONE 570-366-2311  
 E-Mail: signsetc@bartush.com  
 Web Address: www.bartush.com

Notes:



Proposed



Existing  
Existing Sign Dimensions: 48" X 492"

- Pantone 7462 C**
- Pantone 639 C**



### Sign #3 – Aluminum Replacement Faces

*Manufacture & Install (1) 48" x 492" .080 aluminum replacement faces with vinyl graphics.*

**SIGN ELEVATION**

Scale: 1/4"=1'-0"

Client: **Linde**

Location:

100 N. Janacek Rd.  
Brookfield, WI 53045

Date:

2/01/23

Salesperson:

JH

Dwg. By:

MEB

Dwg No:

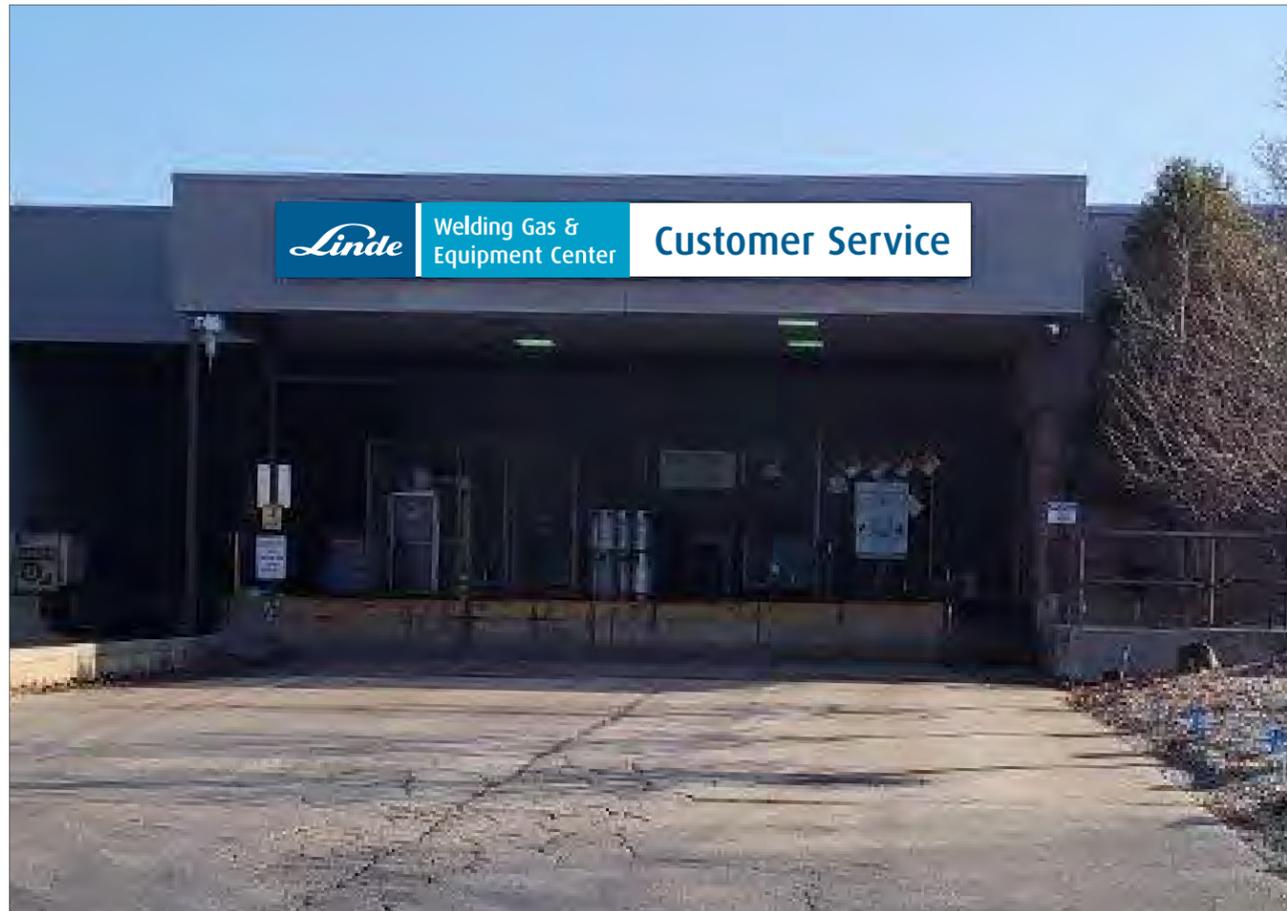
Revised:

DWG# 3 OF 4

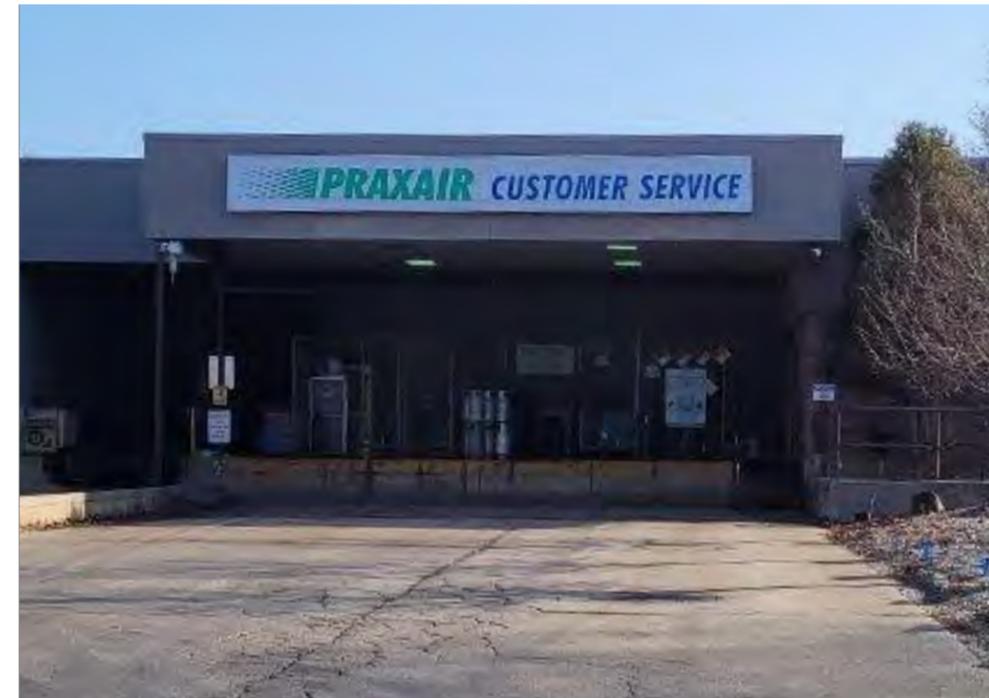
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Notes:



**Proposed**



**Existing**  
**Existing Sign Dimensions: 36" X 336"**

- Pantone 7462 C**
- Pantone 639 C**



**Sign #3 – Flex Replacement Faces**

*Manufacture & Install (1) 36" x 336" flex replacement face.*

**SIGN ELEVATION**

Scale: 3/8"=1'-0"

Client: **Linde**

Location:  
 100 N. Janacek Rd.  
 Brookfield, WI 53045

Date:  
 2/01/23

Salesperson:  
 JH

Dwg. By:  
 MEB

Dwg No:

Revised:

DWG# **4** OF **4**

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Notes:

# PROPOSED SHOWROOM, OFFICE & WAREHOUSE BUILDING

for

## QUEST INTERIORS

21055 Crossroads Circle  
Town of Brookfield, WI



FIELD VERIFY ALL GIVEN DATA BEFORE PREPARATION OF SHOP DRAWINGS, CONSTRUCTION AND INSTALLATION.

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Proposed Offices, Showroom and Warehouse for:

**KTFM, LLC**  
21055 Crossroads Circle  
Town of Brookfield, WI 53186

ISSUE DATE:

19 April, 2023

SET TYPE:

ZONING SUBMITTAL

REVISIONS:

NO.	DESCRIPTION	DATE

COVER SHEET

PRINTED: 4/19/2023 2:08:09 PM

PROJECT NUMBER

2236

SHEET NUMBER

**G100**

**PRELIMINARY  
NOT FOR CONSTRUCTION**

FOR PROPER INTERPRETATION, THESE DRAWINGS SHALL BE PRINTED IN COLOR

SHEET INDEX		
SHEET NUMBER	SHEET NAME	DISCIPLINE
G100	COVER SHEET	GENERAL
C0.1	CIVIL COVER AND SPECIFICATION SHEET	CIVIL
C1.0	EXISTING SITE AND DEMOLITION PLAN	CIVIL
C1.1	SITE PLAN	CIVIL
C1.2	GRADING AND EROSION CONTROL PLAN	CIVIL
C1.3	UTILITY PLAN	CIVIL
C1.4	LANDSCAPE AND RESTORATION PLAN	CIVIL
C2.0	DETAILS	CIVIL
C2.1	DETAILS	CIVIL
C2.2	DETAILS	CIVIL
C3.1	SITE PHOTOMETRICS PLAN & DETAILS	CIVIL
AS100	SITE CONTEXT PLAN	ARCHITECTURAL SITE
AS101	ARCHITECTURAL SITE PLAN	ARCHITECTURAL SITE
A100	FIRST FLOOR DESIGN PLAN	ARCHITECTURAL
Z300	EXTERIOR DESIGN ELEVATIONS	ARCHITECTURAL PRESENTATION
Z301	EXTERIOR DESIGN ELEVATIONS	ARCHITECTURAL PRESENTATION
Z400	BUILDING SECTION DIAGRAM	ARCHITECTURAL PRESENTATION
Z900	PRESENTATION DRAWING	ARCHITECTURAL PRESENTATION
Z901	PRESENTATION DRAWING	ARCHITECTURAL PRESENTATION

CONSULTANT LIST	
<b>ARCHITECT:</b> <b>WESENBERG ARCHITECTS</b> 146 ALGOMA BLVD OSHKOSH, WISCONSIN 54901 (920) 230 - 4900 Chet Wesenberg chet.wesenberg@owarchitect.net	
<b>OWNER:</b> <b>KTFM, LLC</b> N7799 US HWY 51 FOND DU LAC, WISCONSIN 54935 (920) 233 - 3200 Mark Twohig mtwohig@questinteriorsusa.com	
<b>STRUCTURAL ENGINEER:</b> <b>PATERA, LLC</b> 2601 S. SUNNYSLOPE ROAD NEW BERLIN, WI 53151 (262) 786 - 6576 John Lavin john@PateraLLC.com	
<b>CIVIL:</b> <b>EXCEL ENGINEERING, INC.</b> 100 CAMELOT DRIVE FOND DU LAC, WI 54935 (920) 926 - 9800 Jason Daye jason.daye@excelengineer.com	
<b>PLUMBING &amp; FIRE PROTECTION:</b> <b>EXCEL ENGINEERING, INC.</b> 100 CAMELOT DRIVE FOND DU LAC, WI 54935 (920) 926 - 9800 Ben Stratman ben.stratman@excelengineer.com	
<b>HVAC ENGINEER:</b> <b>EXCEL ENGINEERING, INC.</b> 100 CAMELOT DRIVE FOND DU LAC, WI 54935 (920) 926 - 9800 Michael Zagar michael.zagar@excelengineer.com	
<b>ELECTRICAL DESIGNER:</b> <b>EXCEL ENGINEERING, INC.</b> 100 CAMELOT DRIVE FOND DU LAC, WI 54935 (920) 926 - 9800 Tim Stoppeworth tim.stoppeworth@excelengineer.com	



VICINITY MAP



PROJECT LOCATION

PROJECT LOCATION

LOCAL MAP







EXISTING SITE DATA			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	3.68	160,351	
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.00	0	0.0%
TOTAL IMPERVIOUS	0.00	0	0.0%
LANDSCAPE/ OPEN SPACE	3.68	160,351	100.0%

PROPOSED SITE DATA			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	3.68	160,351	
BUILDING FLOOR AREA	0.64	28,039	17.5%
PAVEMENT (ASP. & CONC.)	1.10	47,753	29.8%
TOTAL IMPERVIOUS	1.74	75,792	47.3%
LANDSCAPE/ OPEN SPACE	1.94	84,559	52.7%

**SPECIFICATION NOTE:**  
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS



**Always a Better Plan**  
100 Camelot Drive  
Fond du Lac, WI 54935  
920-926-9800  
excelengineer.com

**PROJECT INFORMATION**

PROPOSED OFFICES, SHOWROOM, AND WAREHOUSE FOR:  
**KTFM, LLC**  
21055 CROSSROADS CIRCLE • TOWN OF BROOKFIELD, WI 53186

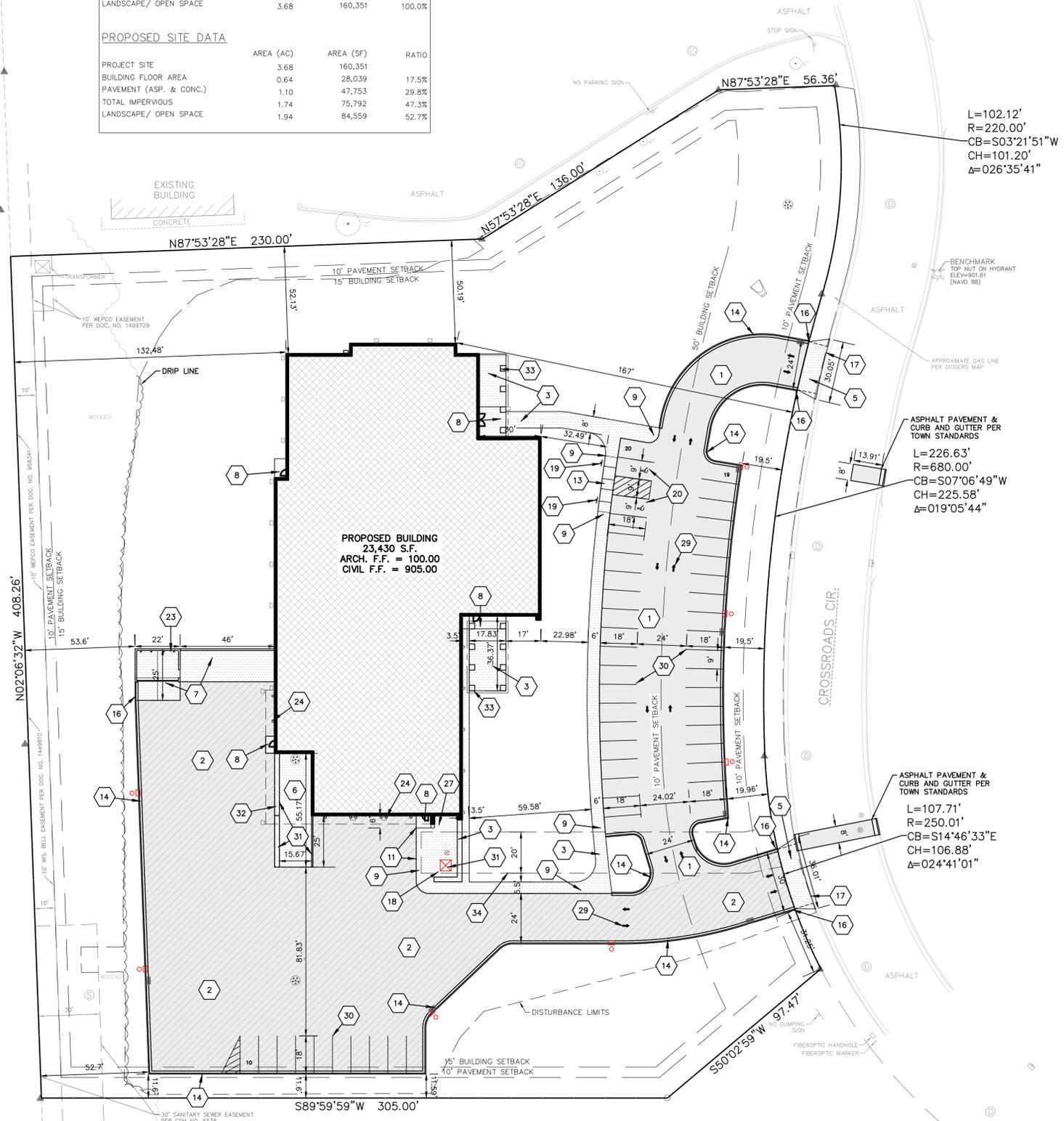
PROFESSIONAL SEAL

**PRELIMINARY DATES**  
APR. 19, 2023

**NOT FOR CONSTRUCTION**

**JOB NUMBER**  
230030600

**SHEET NUMBER**  
**C1.1**



**SITE INFORMATION:**

PROPERTY AREA: 160,351 S.F. (3.68 ACRES)  
EXISTING ZONING: B-2 LIMITED GENERAL BUSINESS  
PROPOSED ZONING: B-2  
PROPOSED USE: INTERIOR FLOORING RETAIL AND WAREHOUSE  
AREA OF SITE DISTURBANCE: 160,351 S.F. (3.68 ACRES)

SETBACKS: BUILDING: FRONT = 50'  
SIDE = 15'  
REAR = 15'

PAVEMENT: FRONT = 10'  
SIDE = 10'  
REAR = 10'

PROPOSED BUILDING HEIGHT: 28' (MAX. HEIGHT ALLOWED: 45')

PARKING REQUIRED: OFFICE AREA (PER 4.B.: 1 STALL / 250 SF):  $[3,470 / 250] = 14$   
WAREHOUSE (PER 5C: 1 STALL PER EMPLOYEE + 1 / 5000SF):  $[(11,746 + 2412) / 5000] + 9 \text{ EMPLOYEES} = 12$   
SHOWROOM (PER 2N: 3 STALLS PER SALESPERSON + 1 FOR EACH SALESPERSON): 9  
TOTAL: 35

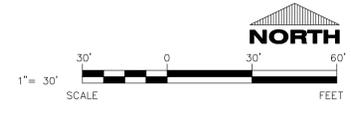
PARKING PROVIDED: 39 SPACES (2H.C. ACCESSIBLE)  
HANDICAP STALLS REQUIRED: 2, HANDICAP STALLS PROVIDED: 2  
BUILDING OCCUPANCY CLASSIFICATION: S-1/B/M  
CLASS OF BUILDING CONSTRUCTION: 2B

**SITE PLAN KEYNOTES**

- 1 STANDARD ASPHALT SECTION (TYP.)
- 2 HEAVY DUTY ASPHALT SECTION (TYP.)
- 3 CONCRETE SIDEWALK/PATIO (TYP.)
- 5 HEAVY DUTY CONCRETE (TYP.)
- 6 LOADING DOCK CONCRETE (TYP.)
- 7 DUMPSTER PAD CONCRETE (TYP.)
- 8 CONCRETE STOOP (TYP.) SEE ARCH. PLANS FOR DETAILS
- 9 RAISED WALK (TYP.)
- 11 TAPER WALK 0" TO 6" IN 18'
- 13 ADA CURB RAMP (TYP.)
- 14 18" CURB & GUTTER (TYP.)
- 16 CURB TAPER (TYP.)
- 17 CURB CUT (TYP.)
- 18 CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
- 19 HANDICAP SIGN (TYP.)
- 20 HANDICAP STALL & STRIPING PER STATE CODES
- 23 DUMPSTER ENCLOSURE (SEE ARCH PLANS FOR DETAILS)
- 24 (8)-6" CONCRETE BOLLARDS (SEE DETAIL ON ARCH. PLAN)
- 28 DETECTABLE WARNING PLATE
- 29 TRAFFIC FLOW ARROWS, COLOR TO MATCH PARKING STALL STRIPING
- 30 PAINT STRIPING (TYP.)
- 31 RETAINING WALL SEE ARCH. PLANS FOR DETAILS
- 32 CANOPY SEE ARCH. PLANS FOR DETAILS
- 33 COLUMNS AND PERGOLA SEE ARCH. PLANS FOR DETAILS
- 34 20" PUBLIC WATER MAIN EASEMENT.

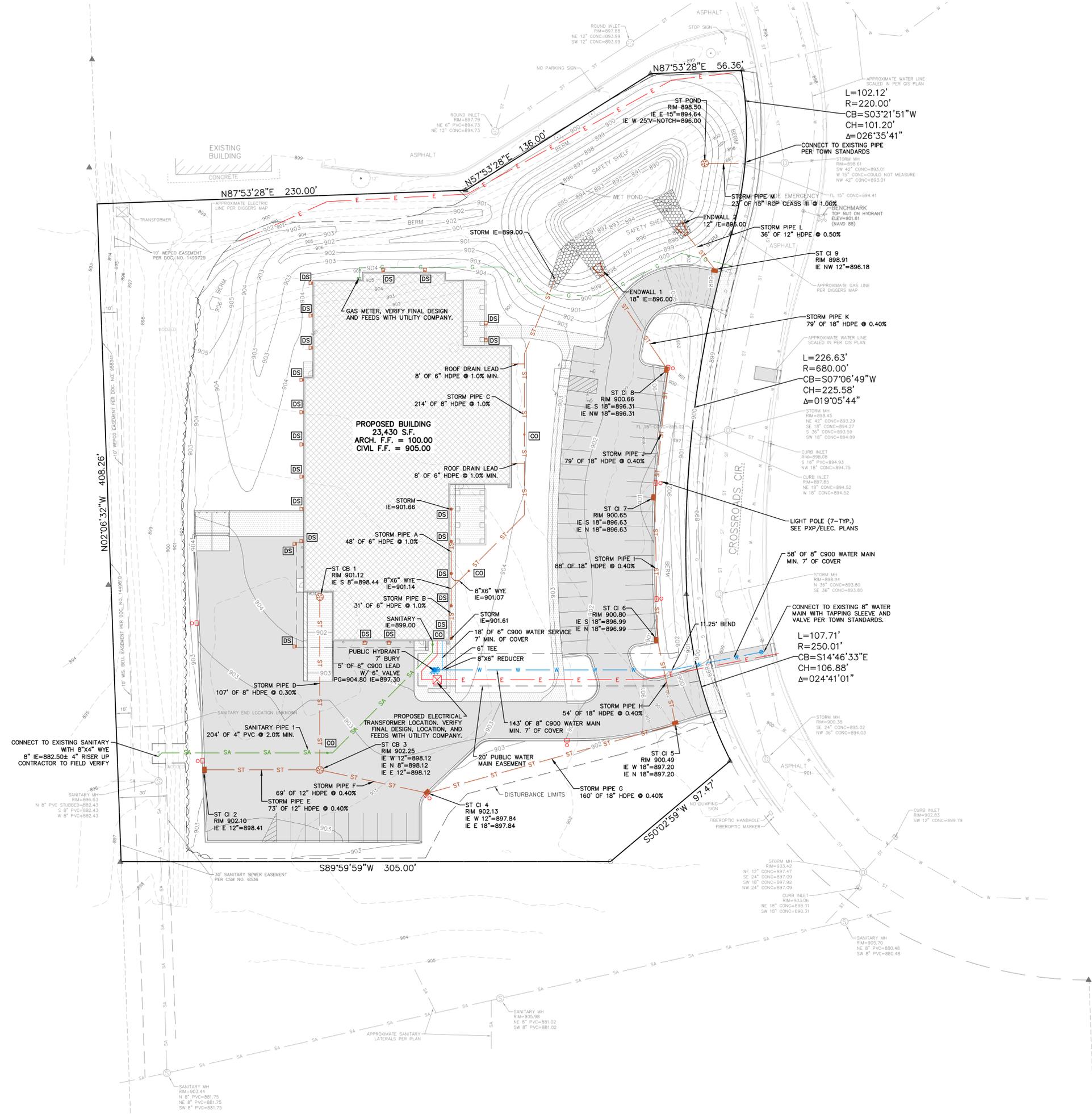
**PAVEMENT HATCH KEY:**

[Hatch Pattern]	STANDARD ASPHALT
[Hatch Pattern]	HEAVY DUTY ASPHALT
[Hatch Pattern]	CONCRETE



**CIVIL SITE PLAN**





**SPECIFICATION NOTE:**  
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

**DOWNSPOUT NOTE:**  
DS = DENOTES DOWNSPOUT TO GRADE LOCATIONS. PROVIDE SPLASH BLOCKS AT ALL DS TO GRADE LOCATIONS. SEE ARCH PLANS FOR FINAL LOCATIONS.

**DOWNSPOUT NOTE:**  
DS = DENOTES DOWNSPOUT CONNECT TO CLEANOUT AT GRADE FOR STORM SEWER LEAD. SEE ARCH PLANS FOR FINAL LOCATIONS.

**CLEANOUT NOTE:**  
CO = DENOTES LOCATIONS WHERE CONTRACTOR SHALL INSTALL CLEANOUTS, SEE C0.1 FOR SPECIFICATION.



**PROJECT INFORMATION**

PROPOSED OFFICES, SHOWROOM, AND WAREHOUSE FOR:  
**KTFM, LLC**  
21055 CROSSROADS CIRCLE • TOWN OF BROOKFIELD, WI 53186

**PRELIMINARY DATES**

APR. 19, 2023

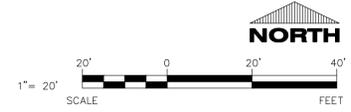
**NOT FOR CONSTRUCTION**

**JOB NUMBER**

230030600

**SHEET NUMBER**

**C1.3**



**CIVIL UTILITY PLAN**

SPECIFICATION NOTE:  
SEE SHEET C0.1 FOR PLAN  
SPECIFICATIONS AND REQUIREMENTS

EROSION MATTING LOCATION



Always a Better Plan  
100 Camelot Drive  
Fond du Lac, WI 54935  
920-926-9800  
excelengineer.com

LANDSCAPING PLANTING SCHEDULE				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS TREES				
☉	Skyline Honeylocust	Gleditsia triacanthos 'Skyline'	2"	4
☉	Autumn Blaze Maple	Acer x freemanii 'Jeffers'	2"	3
☉	Redmond Linden	Tilia americana	2"	5
☉	Jack Flowering Pear	Pyrus calleryana 'Jazzam'	2"	3
☉	Ann Magnolia	Magnolia liliflora 'Nigra'	2"	4
EVERGREEN TREES				
☉	Black Hills Spruce	Picea glauca	6"	6
☉	Arborvitae - Nigra	Thuja occidentalis 'Nigra'	2"	6
DECIDUOUS SHRUBS				
☉	Anthony Waterer Spirea	Spiraea x bumalda 'Anthony Water'	15"-18"	6
☉	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro Low'	18"	13
☉	Rhododendron	Rhododendron haaga	15"-18"	9
☉	Limelight Hydrangea Tree	Hydrangea paniculata 'Limelight'	4'-5'	5
EVERGREEN SHRUBS				
☉	Arcadia Juniper	Juniperus sabinia 'arcadia'	24"	7
☉	Taunton Yew	Tauntonii	24"	5
☉	Wintergreen Boxwood	Buxus sinica var insularis 'Wintergreen'	18"	11
PERENNIALS				
☉	Karl Foerster Reed Grass	Clamagrostis x acutiflora 'Karl Foerster'	1 gal pot	16
☉	Daylilies 'Stella de Oro'	Hemerocallis 'Stella de Oro'	1 gal pot	15
☉	Walker's Low Catmint	Napeta x faassenii 'Walker's low'	1 gal pot	9
☉	Hostas	Hostas 'Royal Standard'	1 gal pot	13

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21055 CROSSROADS CIRCLE • TOWN OF BROOKFIELD, WI 53186

PROFESSIONAL SEAL

PRELIMINARY DATES

APR. 19, 2023

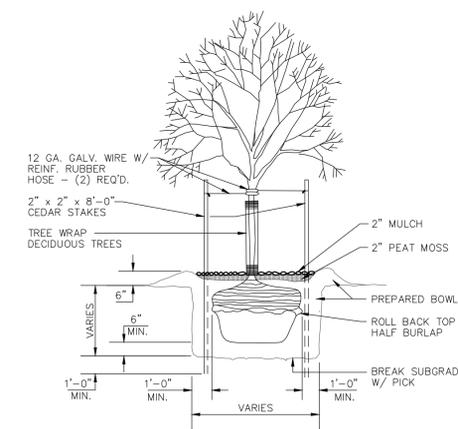
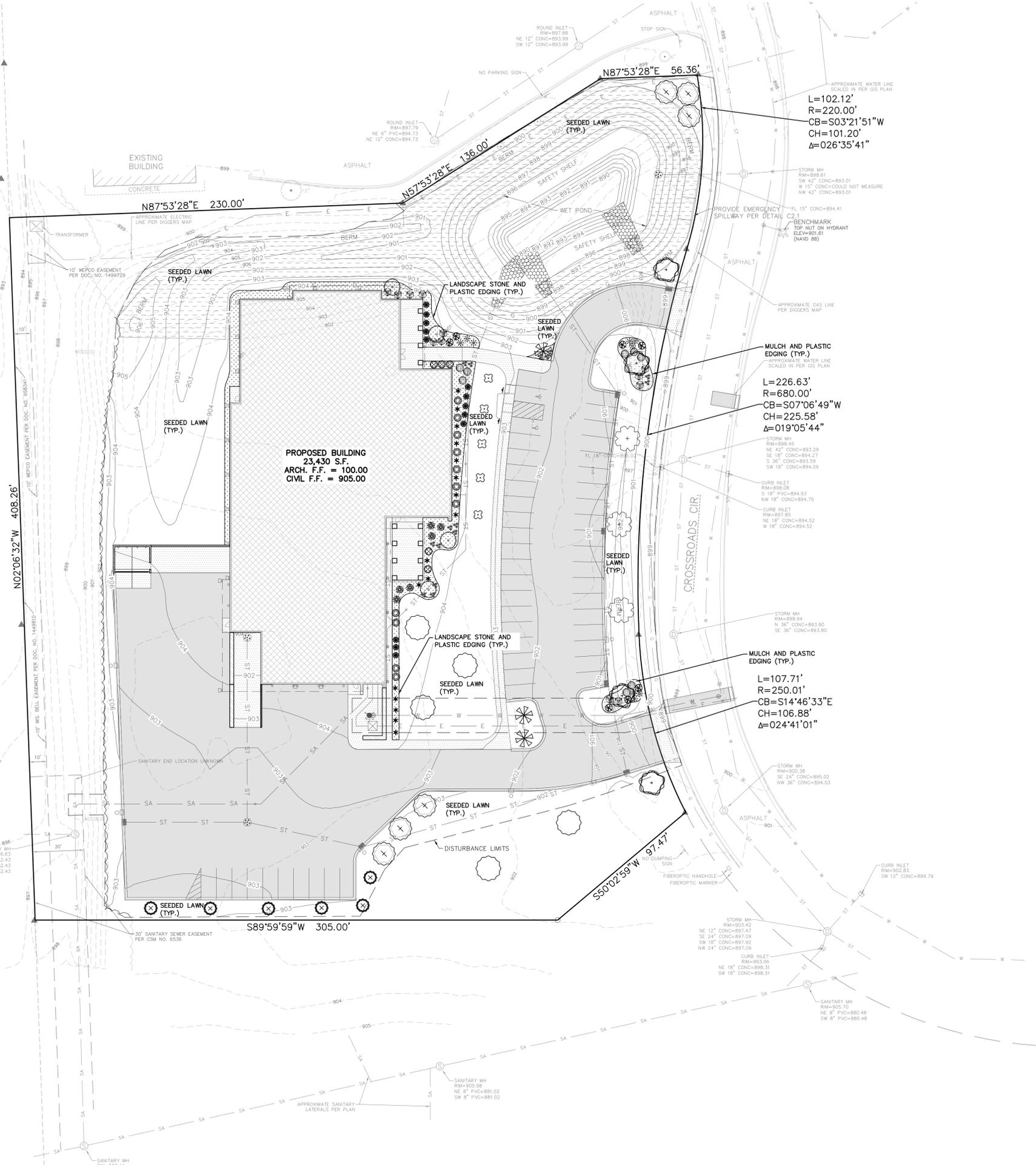
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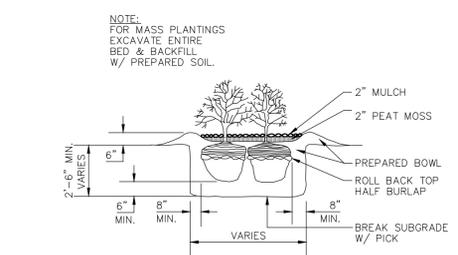
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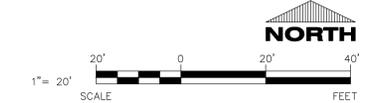
**C1.4**



TREE PLANTING DETAIL  
NO SCALE



SHRUB PLANTING DETAIL  
NO SCALE



**PROJECT INFORMATION**

PROPOSED OFFICES, SHOWROOM, AND WAREHOUSE FOR:  
**KTFM, LLC**  
 21055 CROSSROADS CIRCLE • TOWN OF BROOKFIELD, WI 53186

PROFESSIONAL SEAL

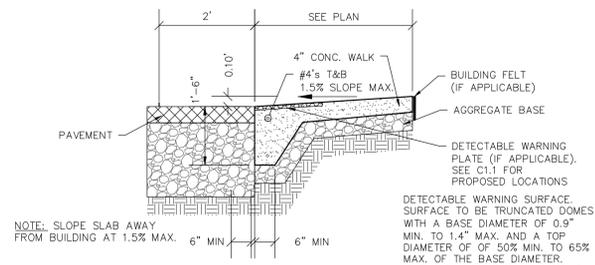
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 APR. 19, 2023

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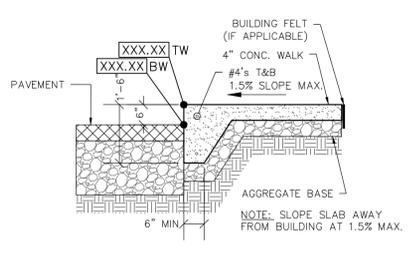
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**SHEET NUMBER**  
**C2.0**

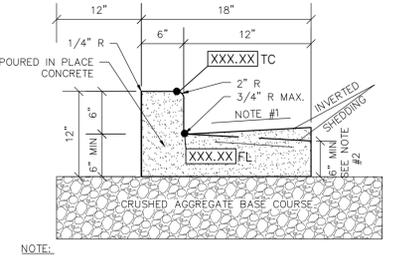
**SPECIFICATION NOTE:**  
 SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS



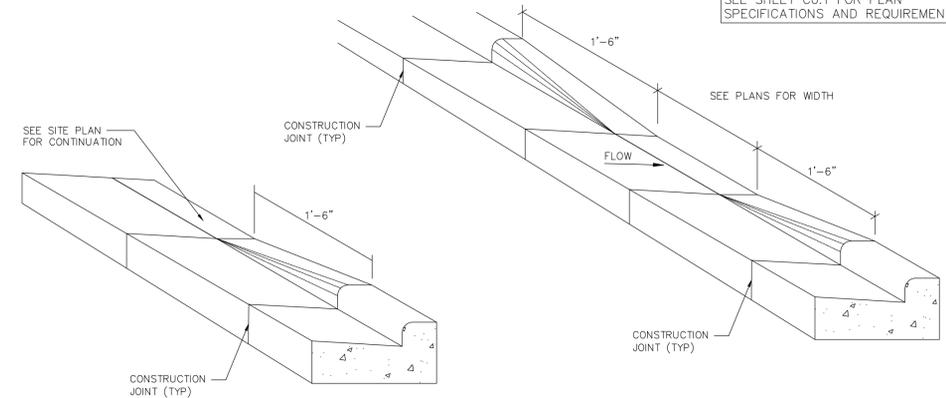
**FLUSH WALK DETAIL**  
 NO SCALE



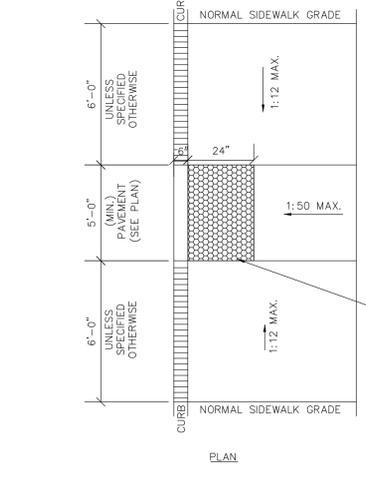
**RAISED WALK DETAIL**  
 NO SCALE



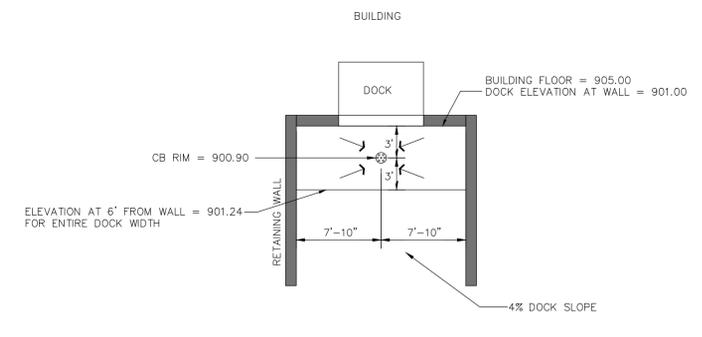
**18" CONCRETE CURB & GUTTER DETAIL**  
 NO SCALE



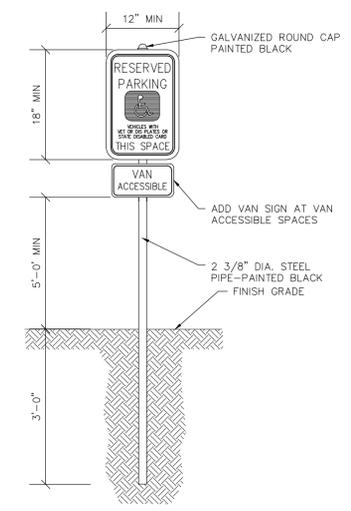
**CURB CUT DETAIL**  
 NO SCALE



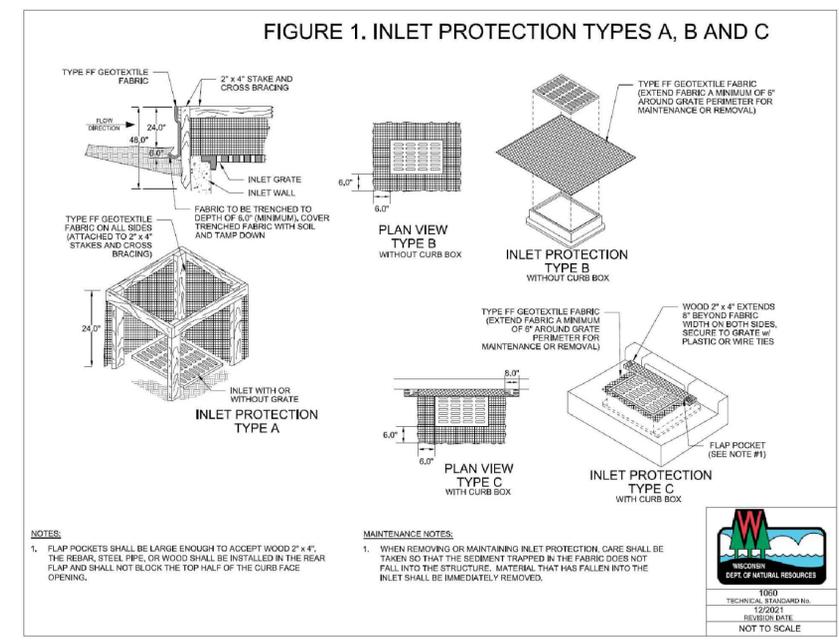
**ADA CURB RAMP DETAIL**  
 NO SCALE



**1 BAY LOADING DOCK DETAIL**  
 NO SCALE



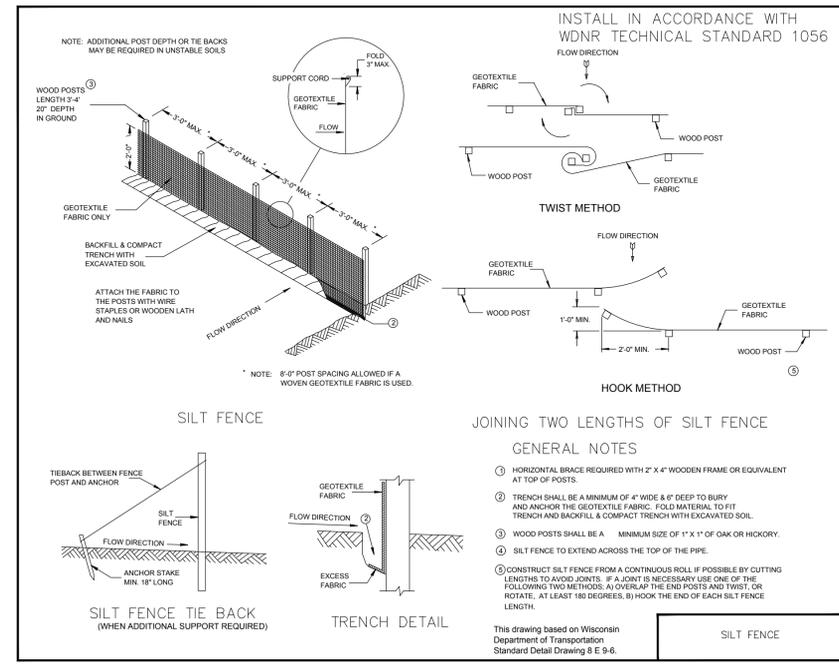
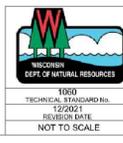
**HANDICAP SIGNAGE WITHOUT CONCRETE BASE DETAIL**  
 NO SCALE



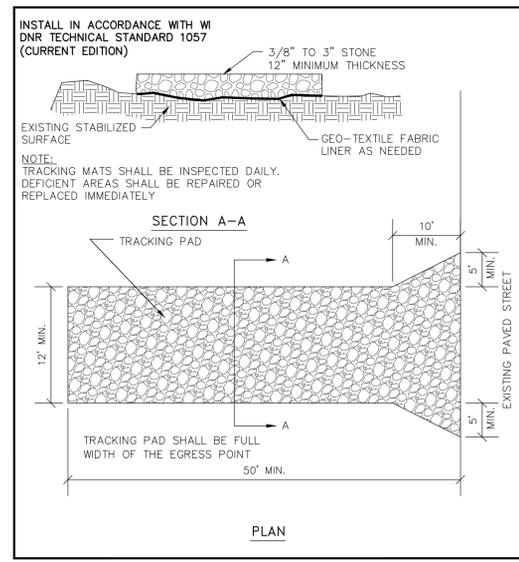
**FIGURE 1. INLET PROTECTION TYPES A, B AND C**

**NOTES:**  
 1. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" x 4" THE REAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

**MAINTENANCE NOTES:**  
 1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEGMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



**SILT FENCE - INSTALLATION DETAIL**  
 NO SCALE



**TRACKPAD DETAILS**  
 NO SCALE

**GENERAL NOTES**

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD NO. 1053 (CHANNEL EROSION MAT).

VARIATIONS IN THE DIMENSIONS OR MATERIALS SHOWN HEREON SHALL BE PERMITTED IF THEY PROVIDE EQUIVALENT PROTECTION AND MATERIAL STRENGTH AND IF PRIOR APPROVAL OF THE ENGINEER IS OBTAINED.

LAP JOINTS SHALL NOT BE PLACED IN THE BOTTOM OF V-SHAPED DITCHES.

JUNCTION SLOTS ON ADJACENT STRIPS OF MATTING SHALL BE STAGGERED A MINIMUM OF 4 FEET APART.

EDGES OF EROSION MAT SHALL BE IMPRESSED IN THE SOIL.

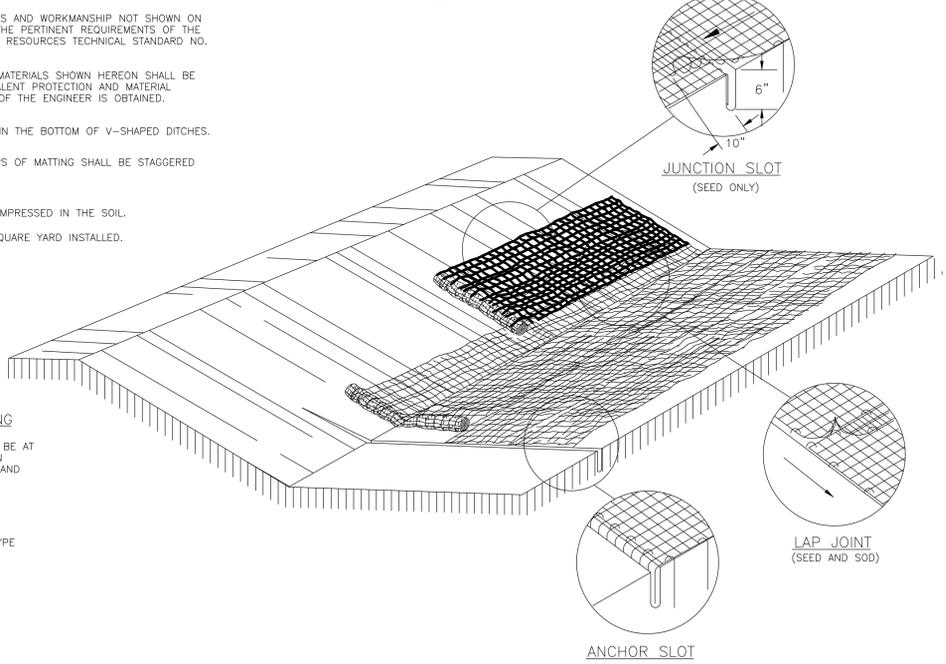
EROSION MAT SHALL PAID BY THE SQUARE YARD INSTALLED.

**EROSION MAT OVER SEEDING**

JUNCTION OR ANCHOR SLOTS SHALL BE AT MINIMUM INTERVALS OF 100 FEET ON GRADES UP TO AND INCLUDING 3%, AND 50 FEET ON GRADES EXCEEDING 3%.

**NOTE:**  
 SEE SPECIFICATIONS FOR MATTING TYPE

**INLET PROTECTION DETAIL**  
 NO SCALE



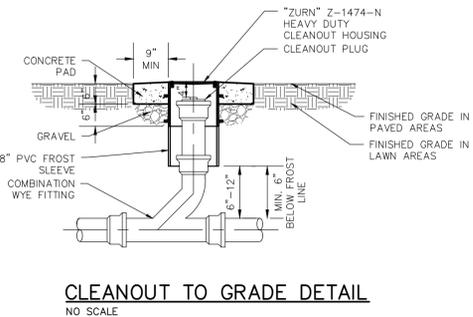
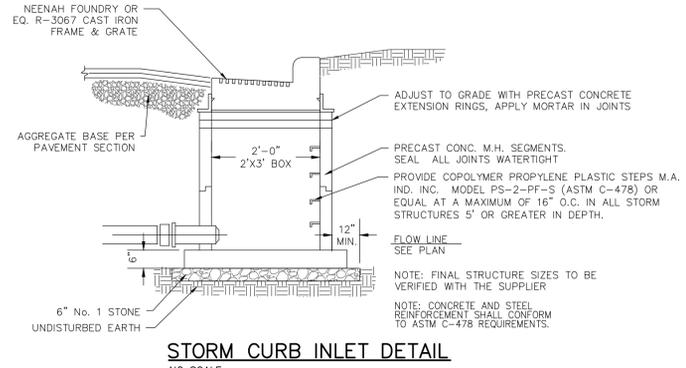
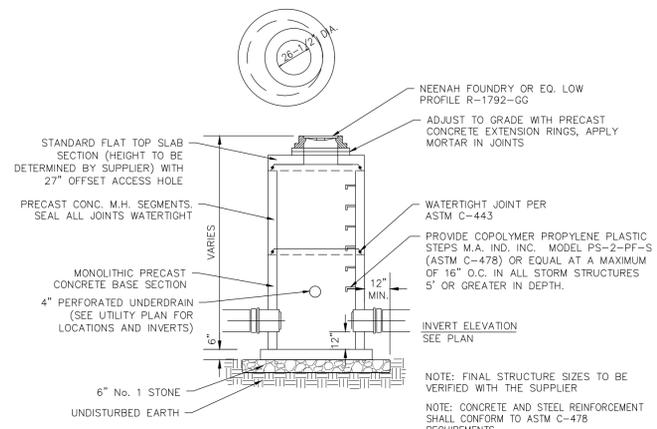
**CHANNEL EROSION MAT DETAIL**  
 NOT TO SCALE

**CIVIL DETAILS**

SPECIFICATION NOTE:  
SEE SHEET CO.1 FOR PLAN  
SPECIFICATIONS AND REQUIREMENTS



**EXCEL**  
Always a Better Plan  
100 Camelot Drive  
Fond du Lac, WI 54935  
920-926-9800  
excelengineer.com



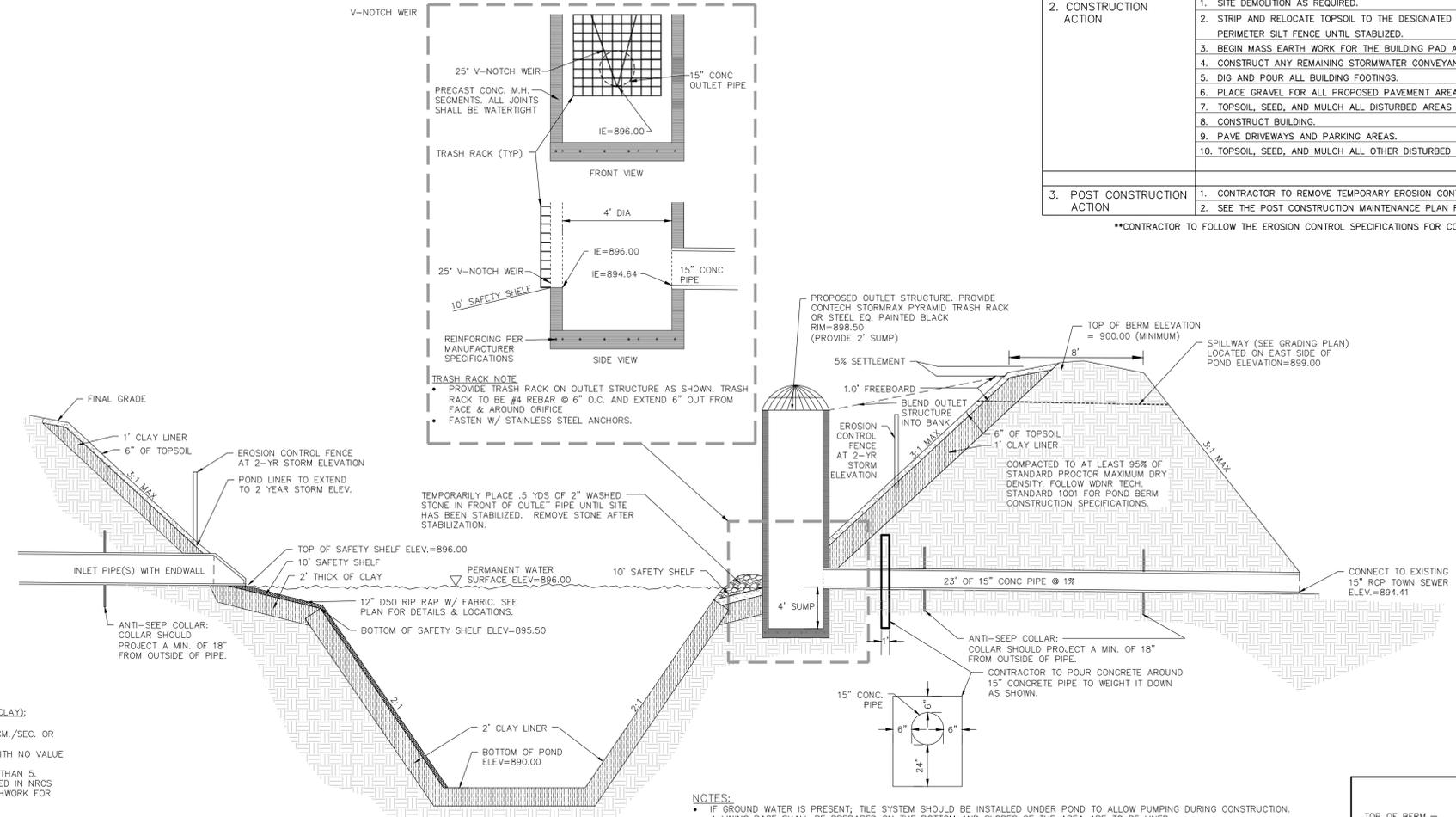
**STORM CATCH BASIN W/ SUMP DETAIL**  
NO SCALE

**STORM CURB INLET DETAIL**  
NO SCALE

**CLEANOUT TO GRADE DETAIL**  
NO SCALE

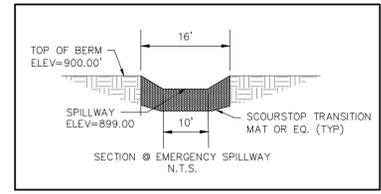
CONSTRUCTION SEQUENCE	
PHASE	TYPE OF ACTION
1. PRE-CONSTRUCTION ACTION	<ol style="list-style-type: none"> <li>CONTRACTOR TO CALL DIGGERS HOTLINE AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION.</li> <li>PLACE ALL SILT FENCE.</li> <li>CONSTRUCT TRACKING STONE ENTRANCES AND ANY TEMPORARY CONSTRUCTION ROADWAYS AS NEEDED.</li> <li>CONSTRUCT PERMANENT DETENTION PONDS AND PERMANENT STORMWATER CONVEYANCE SYSTEMS.</li> <li>CONSTRUCT TEMPORARY SEDIMENT TRAPS, SEDIMENT BASINS, AND ANY TEMPORARY STORMWATER CONVEYANCE SYSTEMS AS NEEDED.</li> <li>STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED.</li> </ol>
2. CONSTRUCTION ACTION	<ol style="list-style-type: none"> <li>SITE DEMOLITION AS REQUIRED.</li> <li>STRIP AND RELOCATE TOPSOIL TO THE DESIGNATED TOPSOIL STOCKPILE. FINAL LOCATION BY CONTRACTOR (VERIFY W/ OWNER). PROVIDE PERIMETER SILT FENCE UNTIL STABILIZED.</li> <li>BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS.</li> <li>CONSTRUCT ANY REMAINING STORMWATER CONVEYANCE SYSTEMS, AND INSTALL ALL OTHER UTILITIES ON SITE.</li> <li>DIG AND POUR ALL BUILDING FOOTINGS.</li> <li>PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS, INCLUDING FIRE LANES.</li> <li>TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS.</li> <li>CONSTRUCT BUILDING.</li> <li>PAVE DRIVEWAYS AND PARKING AREAS.</li> <li>TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS. PLACE EROSION MATTING AND RIP RAP.</li> </ol>
3. POST CONSTRUCTION ACTION	<ol style="list-style-type: none"> <li>CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION.</li> <li>SEE THE POST CONSTRUCTION MAINTENANCE PLAN FOR PERMANENT STORMWATER MANAGEMENT SYSTEMS.</li> </ol>

\*\*CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE.\*\*



**WET RETENTION POND**  
NO SCALE

**OVERALL STORMWATER FACILITY DETAIL**  
NO SCALE



**(DIRECTION) EMERGENCY SPILLWAY DETAIL**  
NO SCALE

**POND LINER CRITERIA FOR SAFETY SHELF AND BELOW (CLAY):**

- 50X FINES (200 SIEVE) OR MORE.
- AN IN-PLACE HYDRAULIC CONDUCTIVITY OF  $1 \times 10^{-6}$  CM./SEC. OR LESS.
- AVERAGE LIQUID LIMIT VALUE OF 16 OR GREATER, WITH NO VALUE LESS THAN 14.
- AVERAGE PI OF 7 OR MORE WITH NO VALUES LESS THAN 5.
- CLAY COMPACTION AND DOCUMENTATION AS SPECIFIED IN NRCS WISCONSIN CONSTRUCTION SPECIFICATION 204, EARTHWORK FOR WASTE STORAGE FACILITIES.
- MINIMUM THICKNESS OF TWO FEET.
- SPECIFY METHOD FOR KEEPING POOL FULL OR USE OF COMPOSITE SOILS BELOW LINER.

**POND LINER ALTERNATE:**

- CONTRACTOR TO PROVIDE 40 MIL/HDPE POND LINER IN LIEU OF CLAY LINER TO LINE ENTIRE POND AREA UP TO THE 2 YEAR, 24-HOUR WATER PONDING ELEVATION (SEE ELEVATION ON DETAIL).
- DESIGN ACCORDING TO THE CRITERIA IN TABLE 3 OF THE NRCS 313, WASTE STORAGE FACILITY TECHNICAL STANDARD
- INSTALL ACCORDING TO NRCS WISCONSIN CONSTRUCTION SPECIFICATION 202, POLYETHYLENE GEOMEMBRANE LINING.

4-6" ROUND STONE OVER FILTER FABRIC SHALL BE PROVIDED TO COVER THE ENTIRE LINER. TOP OF STONE SHALL MATCH PROPOSED POND ELEVATIONS.

**NOTES:**

- IF GROUND WATER IS PRESENT; TILE SYSTEM SHOULD BE INSTALLED UNDER POND TO ALLOW PUMPING DURING CONSTRUCTION.
- A LINING BASE SHALL BE PREPARED ON THE BOTTOM AND SLOPES OF THE AREA ARE TO BE LINED.
- LINING BASE MATERIAL SHALL BE FREE OF ALL SHARP OBJECTS, ROOTS GRASS AND VEGETATION.
- THE BASE MATERIAL SHALL BE NATIVE MATERIALS OR MATERIALS OBTAINED FROM A BORROW SOURCE COMPACTED TO A MIN. OF 95% COMPACTING OR AN APPROVED CONSTRUCTION FABRIC.
- THE SUBGRADE SHALL BE PREPARED IMMEDIATELY PRIOR TO THE PLACING OF THE LINER. THE SURFACE ON WHICH THE LINER IS TO BE PLACED IS TO BE FIRM, CLEAN, DRY AND SMOOTH.
- AT END OF SITE CONSTRUCTION, POND DEPTH SHALL BE CHECKED FOR SEDIMENTATION AND DREDGED, IF NECESSARY, TO THE DESIGN DEPTH ORIGINALLY PROPOSED.
- CONTRACTOR SHALL PROVIDE EROSION MATTING AS REQUIRED PER SPECIFICATIONS NOTED ON CO.1.
- CONTRACTOR TO CONTACT EXCEL ENGINEERING TO COMPLETE AN AS-BUILT SURVEY FOLLOWING COMPLETION OF THE CONSTRUCTION OF THE STORMWATER POND. THE SURVEY SHALL BE COMPLETED PRIOR TO THE POND FILLING WITH WATER. CONTRACTOR SHALL GIVE EXCEL ENGINEERING A MINIMUM OF A 3 DAY NOTICE. PLEASE NOTE THAT THE HORIZONTAL TOLERANCE FOR POND CONSTRUCTION IS 0.50' AND THE VERTICAL TOLERANCE FOR POND, OUTLET, AND SPILLWAY CONSTRUCTION IS 0.10'. ANY ADDITIONAL WORK REQUIRED TO SURVEY A POND FULL OF WATER OR FOR SURVEYING FOLLOWING REWORK SHALL BE AT THE CONTRACTOR'S EXPENSE.

**PROJECT INFORMATION**

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**KTFM, LLC**  
21055 CROSSROADS CIRCLE • TOWN OF BROOKFIELD, WI 53186

PROFESSIONAL SEAL

**PRELIMINARY DATES**

APR. 19, 2023

**NOT FOR CONSTRUCTION**

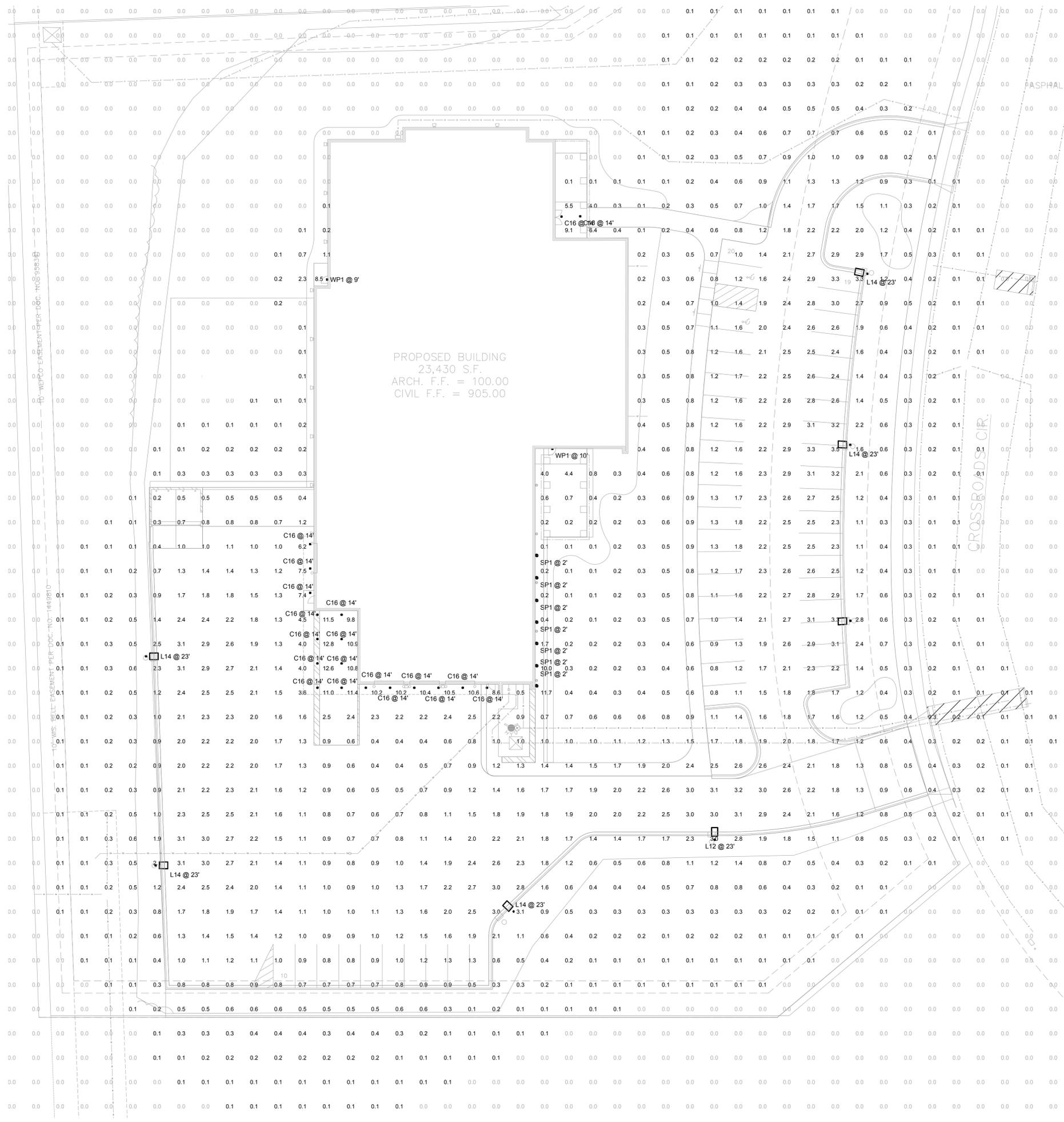
**JOB NUMBER**

230030600

**SHEET NUMBER**

**C2.1**





PROPOSED BUILDING  
23,430 S.F.  
ARCH. F.F. = 100.00  
CIVIL F.F. = 905.00

### D-Series Size 2 LED Area Luminaire

**Specifications**  
 Size: 40x32  
 Length: 40.31"  
 Width: 32.31"  
 Height: 10.12"  
 Weight: 18.5 lbs

**Introduction**  
 The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest LED technology with a high performance, high efficiency long-life luminaire.

**Outstanding photometric performance**  
 results in clear, well-distributed uniform, greater pole spacing and lower power density. D-Series outstanding performance aids in reducing the number of poles required in area lighting applications with typical energy savings of up to 60% vs. 100W/HED and expected service life of over 100,000 hours.

Beam Angle	Beam Diameter @ 30'	Beam Diameter @ 60'	Beam Diameter @ 90'	Beam Diameter @ 120'	Beam Diameter @ 150'	Beam Diameter @ 180'	Beam Diameter @ 210'	Beam Diameter @ 240'	Beam Diameter @ 270'	Beam Diameter @ 300'
10°	3.2'	6.4'	9.6'	12.8'	16.0'	19.2'	22.4'	25.6'	28.8'	32.0'
15°	4.3'	8.6'	12.9'	17.2'	21.5'	25.8'	30.1'	34.4'	38.7'	43.0'
20°	5.7'	11.4'	17.1'	22.8'	28.4'	34.1'	39.7'	45.4'	51.1'	56.8'
25°	7.0'	14.0'	21.0'	28.0'	35.0'	42.0'	49.0'	56.0'	63.0'	70.0'
30°	8.4'	16.8'	25.2'	33.6'	42.0'	50.4'	58.8'	67.2'	75.6'	84.0'
35°	9.7'	19.4'	29.1'	38.8'	48.0'	57.6'	67.2'	76.8'	86.4'	96.0'
40°	11.0'	22.0'	33.0'	44.0'	54.0'	64.0'	74.0'	84.0'	94.0'	104.0'
45°	12.3'	24.6'	36.9'	49.2'	60.0'	72.0'	84.0'	96.0'	108.0'	120.0'
50°	13.6'	27.2'	40.8'	54.4'	66.0'	78.0'	90.0'	102.0'	114.0'	126.0'
55°	14.9'	29.8'	44.7'	59.6'	72.0'	84.0'	96.0'	108.0'	120.0'	132.0'
60°	16.2'	32.4'	48.6'	64.8'	78.0'	92.0'	106.0'	120.0'	134.0'	148.0'
65°	17.5'	35.0'	52.5'	70.0'	84.0'	98.0'	112.0'	126.0'	140.0'	154.0'
70°	18.8'	37.6'	56.4'	75.2'	90.0'	104.0'	118.0'	132.0'	146.0'	160.0'
75°	20.1'	40.2'	60.3'	80.4'	96.0'	110.0'	124.0'	138.0'	152.0'	166.0'
80°	21.4'	42.8'	64.2'	85.6'	102.0'	116.0'	130.0'	144.0'	158.0'	172.0'
85°	22.7'	45.4'	68.1'	90.8'	108.0'	122.0'	136.0'	150.0'	164.0'	178.0'
90°	24.0'	48.0'	72.0'	96.0'	114.0'	128.0'	142.0'	156.0'	170.0'	184.0'

### WDGE2 LED Architectural Wall Sconce Visual Comfort Cycle

**Specifications**  
 Depth: 6.5"  
 Width: 12.5"  
 Height: 10.5"  
 Weight: 11.5 lbs

**Introduction**  
 The WDGE2 LED is designed to meet the needs of architectural lighting applications. The sleek modern design complements any interior or exterior architectural setting. The sconce offers the benefits of the latest LED technology with a high performance, high efficiency long-life luminaire.

**Outstanding photometric performance**  
 results in clear, well-distributed uniform, greater pole spacing and lower power density. WDGE2 outstanding performance aids in reducing the number of poles required in area lighting applications with typical energy savings of up to 60% vs. 100W/HED and expected service life of over 100,000 hours.

Beam Angle	Beam Diameter @ 30'	Beam Diameter @ 60'	Beam Diameter @ 90'	Beam Diameter @ 120'	Beam Diameter @ 150'	Beam Diameter @ 180'	Beam Diameter @ 210'	Beam Diameter @ 240'	Beam Diameter @ 270'	Beam Diameter @ 300'
10°	3.2'	6.4'	9.6'	12.8'	16.0'	19.2'	22.4'	25.6'	28.8'	32.0'
15°	4.3'	8.6'	12.9'	17.2'	21.5'	25.8'	30.1'	34.4'	38.7'	43.0'
20°	5.7'	11.4'	17.1'	22.8'	28.4'	34.1'	39.7'	45.4'	51.1'	56.8'
25°	7.0'	14.0'	21.0'	28.0'	35.0'	42.0'	49.0'	56.0'	63.0'	70.0'
30°	8.4'	16.8'	25.2'	33.6'	42.0'	50.4'	58.8'	67.2'	75.6'	84.0'
35°	9.7'	19.4'	29.1'	38.8'	48.0'	57.6'	67.2'	76.8'	86.4'	96.0'
40°	11.0'	22.0'	33.0'	44.0'	54.0'	64.0'	74.0'	84.0'	94.0'	104.0'
45°	12.3'	24.6'	36.9'	49.2'	60.0'	72.0'	84.0'	96.0'	108.0'	120.0'
50°	13.6'	27.2'	40.8'	54.4'	66.0'	78.0'	90.0'	102.0'	114.0'	126.0'
55°	14.9'	29.8'	44.7'	59.6'	72.0'	84.0'	96.0'	108.0'	120.0'	132.0'
60°	16.2'	32.4'	48.6'	64.8'	78.0'	92.0'	106.0'	120.0'	134.0'	148.0'
65°	17.5'	35.0'	52.5'	70.0'	84.0'	98.0'	112.0'	126.0'	140.0'	154.0'
70°	18.8'	37.6'	56.4'	75.2'	90.0'	104.0'	118.0'	132.0'	146.0'	160.0'
75°	20.1'	40.2'	60.3'	80.4'	96.0'	110.0'	124.0'	138.0'	152.0'	166.0'
80°	21.4'	42.8'	64.2'	85.6'	102.0'	116.0'	130.0'	144.0'	158.0'	172.0'
85°	22.7'	45.4'	68.1'	90.8'	108.0'	122.0'	136.0'	150.0'	164.0'	178.0'
90°	24.0'	48.0'	72.0'	96.0'	114.0'	128.0'	142.0'	156.0'	170.0'	184.0'

### LDN6 STATIC WHITE

**Features & Specifications**  
 • 4" x 6" x 10" LED Luminaire  
 • 100W LED Luminaire  
 • 100W LED Luminaire  
 • 100W LED Luminaire

**Performance Data**

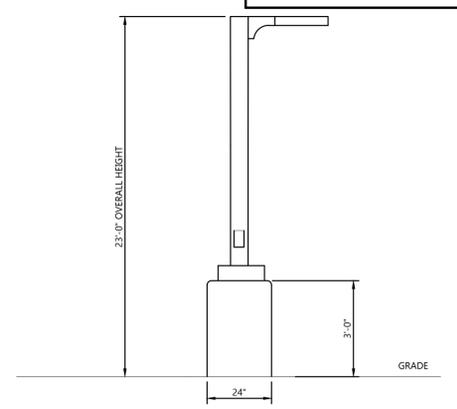
Beam Angle	Beam Diameter @ 30'	Beam Diameter @ 60'	Beam Diameter @ 90'	Beam Diameter @ 120'	Beam Diameter @ 150'	Beam Diameter @ 180'	Beam Diameter @ 210'	Beam Diameter @ 240'	Beam Diameter @ 270'	Beam Diameter @ 300'
10°	3.2'	6.4'	9.6'	12.8'	16.0'	19.2'	22.4'	25.6'	28.8'	32.0'
15°	4.3'	8.6'	12.9'	17.2'	21.5'	25.8'	30.1'	34.4'	38.7'	43.0'
20°	5.7'	11.4'	17.1'	22.8'	28.4'	34.1'	39.7'	45.4'	51.1'	56.8'
25°	7.0'	14.0'	21.0'	28.0'	35.0'	42.0'	49.0'	56.0'	63.0'	70.0'
30°	8.4'	16.8'	25.2'	33.6'	42.0'	50.4'	58.8'	67.2'	75.6'	84.0'
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40°	11.0'	22.0'	33.0'	44.0'	54.0'	64.0'	74.0'	84.0'	94.0'	104.0'
45°	12.3'	24.6'	36.9'	49.2'	60.0'	72.0'	84.0'	96.0'	108.0'	120.0'
50°	13.6'	27.2'	40.8'	54.4'	66.0'	78.0'	90.0'	102.0'	114.0'	126.0'
55°	14.9'	29.8'	44.7'	59.6'	72.0'	84.0'	96.0'	108.0'	120.0'	132.0'
60°	16.2'	32.4'	48.6'	64.8'	78.0'	92.0'	106.0'	120.0'	134.0'	148.0'
65°	17.5'	35.0'	52.5'	70.0'	84.0'	98.0'	112.0'	126.0'	140.0'	154.0'
70°	18.8'	37.6'	56.4'	75.2'	90.0'	104.0'	118.0'	132.0'	146.0'	160.0'
75°	20.1'	40.2'	60.3'	80.4'	96.0'	110.0'	124.0'	138.0'	152.0'	166.0'
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85°	22.7'	45.4'	68.1'	90.8'	108.0'	122.0'	136.0'	150.0'	164.0'	178.0'
90°	24.0'	48.0'	72.0'	96.0'	114.0'	128.0'	142.0'	156.0'	170.0'	184.0'

### NPS Spot

**PureLED Specifications**

**Product Configuration**

Component	Options
Luminaire <td>100W LED Luminaire</td>	100W LED Luminaire
Power <td>100W LED Luminaire</td>	100W LED Luminaire
Material <td>100W LED Luminaire</td>	100W LED Luminaire
Finish <td>100W LED Luminaire</td>	100W LED Luminaire
Beam <td>100W LED Luminaire</td>	100W LED Luminaire
Colour <td>100W LED Luminaire</td>	100W LED Luminaire
Accessories <td>100W LED Luminaire</td>	100W LED Luminaire



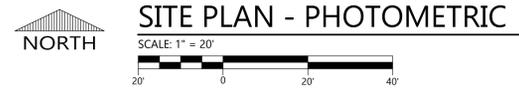
LIGHT POLE DETAIL  
NO SCALE

**Statistics**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
FRONT PARKING & DRIVE	X	2.0 fc	3.5 fc	0.2 fc	17.5:1	10.0:1
OVERHANG	X	10.8 fc	12.8 fc	8.8 fc	1.5:1	1.3:1
BACK PARKING AREA	X	2.1 fc	12.8 fc	0.3 fc	42.7:1	7.0:1

**Schedule**

Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
□	L14	6	Lithonia Lighting	DSX2 LED P1 40K 80CRI T4M HS	D-Series Size 2 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 4 Medium HouseSide Shield	1	15005	0.9	134.5029
□	L12	1	Lithonia Lighting	DSX2 LED P1 40K 80CRI T2M	D-Series Size 2 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 2 Medium	1	17668	0.9	134.5
□	WP1	2	Lithonia Lighting	WDGE1 LED P2 40K 80CRI VF	WDGE1 LED WITH P2 - PERFORMANCE PACKAGE 4000K 80CRI VISUAL COMFORT FORWARD OPTIC	1	1978	0.9	15.0178
○	C16	19	Lithonia Lighting	LDN6 4015 LOGAR LSS	6IN LDN6 4000K, 1500LM, CLEAR, SEMI-SPECULAR REFLECTOR, CRIB80	1	1516	0.9	17.52
○	SP1	7	HUNZA	NPS-L-S-25-4	NPS SPOT - PURE LED - SERIES WIRED 1050MA - IP66 - 4000K - 26 DEG - REMOTE DRIVER REQUIRED	1	573	1	6.3



SITE PLAN - PHOTOMETRIC  
SCALE 1" = 20'

SITE PLAN PHOTOMETRIC

**Excel**  
Always a Better Plan  
100 Camelot Drive  
Fond du Lac, WI 54935  
920-926-9800  
excelengineer.com

PROJECT INFORMATION

PROPOSED OFFICES, SHOWROOM, AND WAREHOUSE FOR:  
**KTFM, LLC**  
21055 CROSSROADS CIRCLE • TOWN OF BROOKFIELD, WI 53186

PROFESSIONAL SEAL

PRELIMINARY DATES  
APR. 19, 2023

NOT FOR CONSTRUCTION

JOB NUMBER  
230030600

SHEET NUMBER  
C3.1



⊕ N 1 CONTEXT PLAN  
1" = 80'-0"

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Proposed Offices, Showroom and Warehouse for:

**KTFM, LLC**  
21055 Crossroads Circle  
Town of Brookfield, WI 53186

ISSUE DATE:  
19 April, 2023

SET TYPE:  
ZONING SUBMITTAL

REVISIONS:

NO.	DESCRIPTION	DATE

SITE CONTEXT PLAN

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PROJECT NUMBER

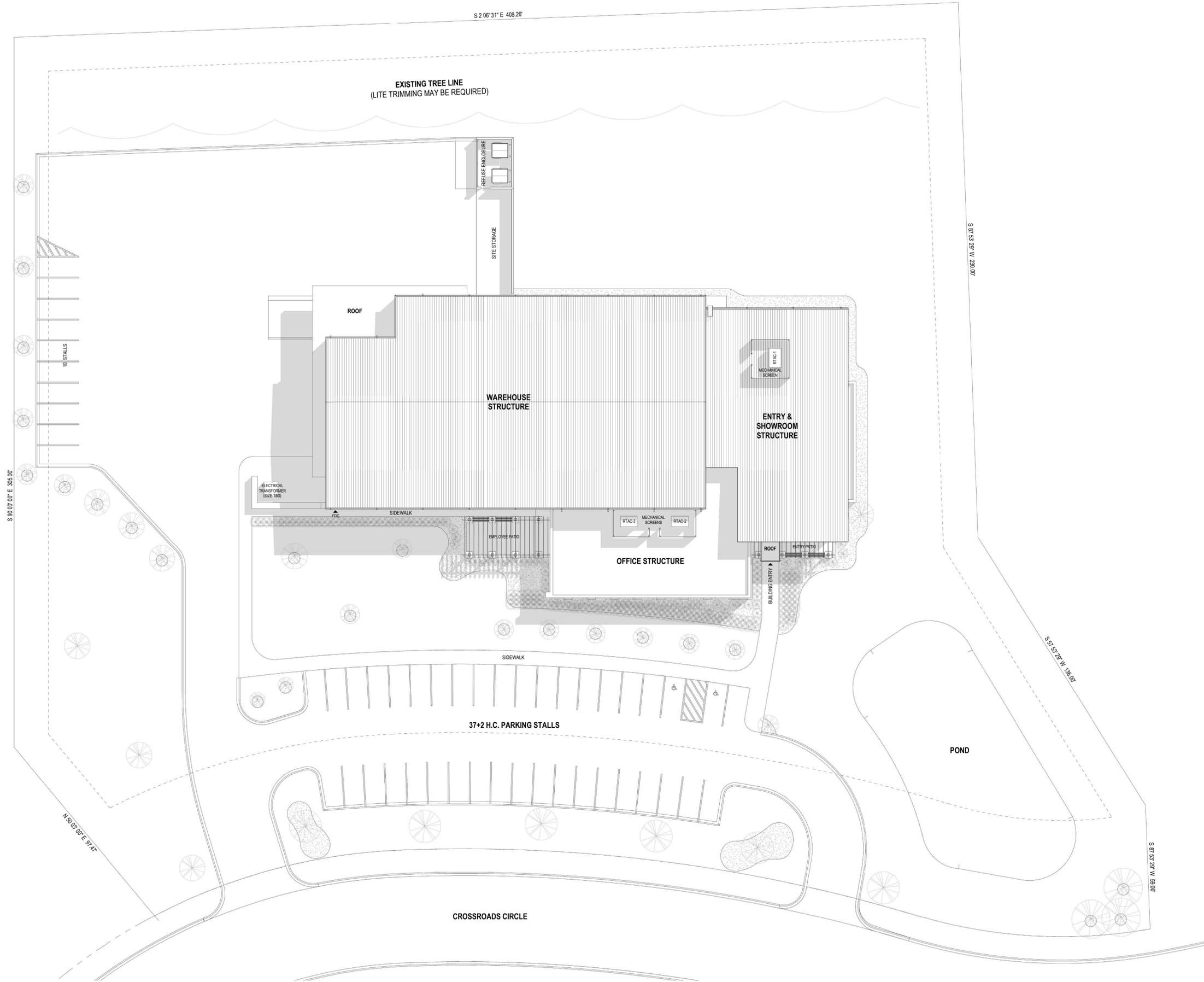
2236

SHEET NUMBER

**AS100**

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1 ARCHITECTURAL SITE PLAN  
1" = 20'-0"

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Town of Brookfield, WI 53186

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ARCHITECTURAL  
SITE PLAN

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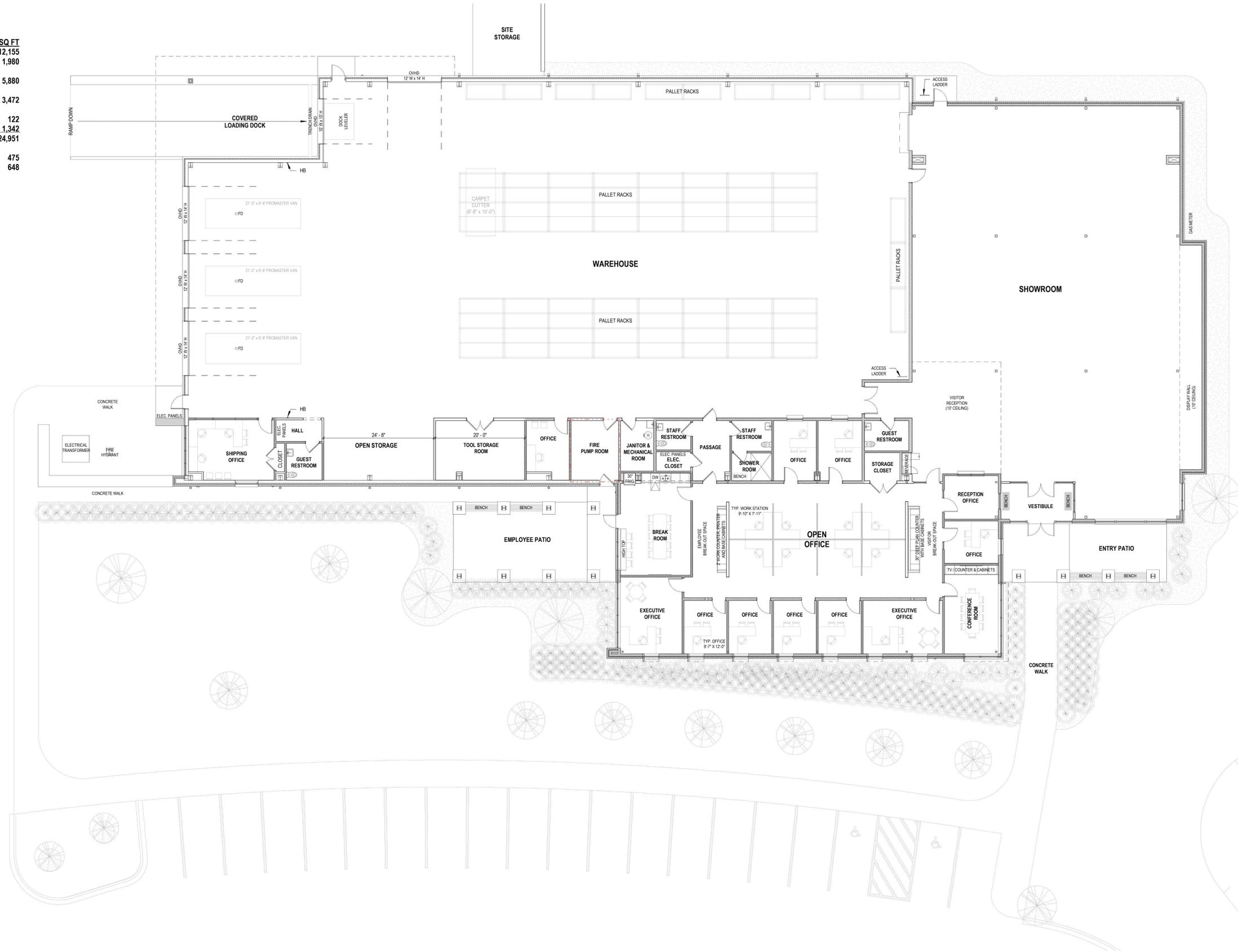
PROJECT NUMBER  
**2236**

SHEET NUMBER

**AS101**

**PROGRAM AREAS**

DESCRIPTION	GROSS SQ FT
WAREHOUSE FLOOR	12,155
WAREHOUSE SUPPORT	1,980
SHOWROOM	5,880
OFFICE AREA	3,472
MAIN ENTRY CANOPY	122
LOADING DOCK CANOPY	1,342
BUILDING GSF	24,951
ENTRY PATIO	475
EMPLOYEE PATIO	648



1 FIRST FLOOR DESIGN PLAN  
3/32" = 1'-0"

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Town of Brookfield, WI 53186

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FIRST FLOOR DESIGN PLAN  
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**2236**  
SHEET NUMBER  
**A100**



1 EXTERIOR ELEVATION - EAST  
3/32" = 1'-0"



2 EXTERIOR ELEVATION - NORTH  
3/32" = 1'-0"

EXTERIOR MATERIAL LEGEND		
MARK	DESCRIPTION	COLOR / FINISH
BM-1	BRICK MASONRY - PRIMARY BRICK WALLS	BRONZE N/F
BM-2	BLOCK MASONRY - MASONRY WALL BASE	DOVE GREY N/F
BM-3	BLOCK MASONRY - REFUSE ENCLOSURE, SITE SCREEN & PATIO PIERS	DOVE GREY N/F
CW	ALUMINUM CURTAIN WALL FRAMING SYSTEM	ANODIZED BLACK
MTL-1	METAL SIDING - WAREHOUSE - INSULATED, VERTICAL INSUL-RIB	CHARCOAL / PVDF
MTL-2	METAL SIDING - SHOWROOM - INSULATED, HORIZONTAL CORRUGATED	CHARCOAL / PVDF
MTL-3	METAL SIDING - WAREHOUSE - INSULATED, SMOOTH PANEL	CHARCOAL / PVDF
MTL-4	METAL SIDING - OFFICE - INSULATED, SMOOTH PANEL	CHARCOAL / PVDF
MTL-5	METAL PANEL - WAREHOUSE CANOPY & WING WALL - SMOOTH PANEL	MIDNIGHT BLACK / PVDF
MTL-6	METAL SIDING - MECHANICAL SCREEN, HORIZONTAL AND VERTICAL RIB	CHARCOAL TO MATCH (MTL-1)
MTL-7	PREFINISHED ALUMINUM - SUN SCREENS, SMOOTH PANEL	BLACK TO MATCH (MTL-5)
MTL-8	METAL LINER PANEL - INSULATED, SMOOTH PANEL	UNFINISHED
MTL-9	PREFINISHED METAL - FASCIA AND GUTTER	MIDNIGHT BLACK / PVDF
MTL-10	PREFINISHED METAL - DOWNSPOUT	CHARCOAL / PVDF
MTL-11	PREFINISHED METAL - MISC	CHARCOAL TO MATCH (MTL-1)
MTL-12	PREFINISHED METAL - MISC	BLACK TO MATCH (MTL-5)
MTL-13	PREFINISHED METAL - SOFFIT PANEL	MIDNIGHT BLACK / PVDF
MTL-14	PREFINISHED METAL - SITE SCREEN, VERTICAL RIB	CHARCOAL / PVDF
PC-1	PRECAST CONCRETE - WALL CAPS	GREY
PT-1	EXTERIOR PAINT	CHARCOAL TO MATCH (MTL-1)
PT-2	EXTERIOR PAINT	BLACK TO MATCH (MTL-5)
SF	ALUMINUM STOREFRONT FRAMING SYSTEM	ANODIZED BLACK
WD-1	WOOD BENCH SEAT	COLOR STAIN FINISH, TBD

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Proposed Offices, Showroom and Warehouse for:

**KTFM, LLC**  
21055 Crossroads Circle  
Town of Brookfield, WI 53186

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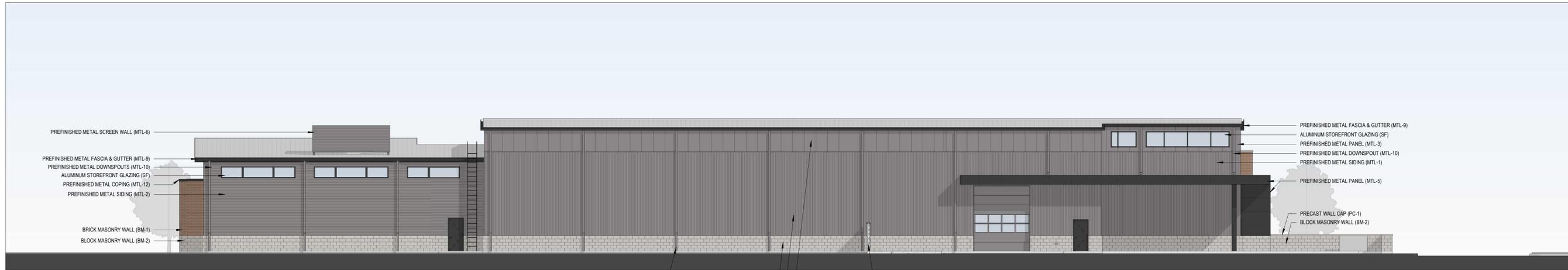
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EXTERIOR DESIGN  
ELEVATIONS

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PROJECT NUMBER  
**2236**

SHEET NUMBER  
**Z300**



1 EXTERIOR ELEVATION - WEST  
3/32" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH  
3/32" = 1'-0"

EXTERIOR MATERIAL LEGEND		
MARK	DESCRIPTION	COLOR / FINISH
BM-1	BRICK MASONRY - PRIMARY BRICK WALLS	BRONZE N/F
BM-2	BLOCK MASONRY - MASONRY WALL BASE	DOVE GREY N/F
BM-3	BLOCK MASONRY - REFUSE ENCLOSURE, SITE SCREEN & PATIO PIERS	DOVE GREY N/F
CW	ALUMINUM CURTAIN WALL FRAMING SYSTEM	ANODIZED BLACK
MTL-1	METAL SIDING - WAREHOUSE - INSULATED, VERTICAL INSUL-RIB	CHARCOAL / PVDF
MTL-2	METAL SIDING - SHOWROOM - INSULATED, HORIZONTAL CORRUGATED	CHARCOAL / PVDF
MTL-3	METAL SIDING - WAREHOUSE - INSULATED, SMOOTH PANEL	CHARCOAL / PVDF
MTL-4	METAL SIDING - OFFICE - INSULATED, SMOOTH PANEL	CHARCOAL / PVDF
MTL-5	METAL PANEL - WAREHOUSE CANOPY & WING WALL - SMOOTH PANEL	MIDNIGHT BLACK / PVDF
MTL-6	METAL SIDING - MECHANICAL SCREEN, HORIZONTAL AND VERTICAL, RIB	CHARCOAL TO MATCH (MTL-1)
MTL-7	PREFINISHED ALUMINUM - SUN SCREENS, SMOOTH PANEL	BLACK TO MATCH (MTL-5)
MTL-8	METAL LINER PANEL - INSULATED, SMOOTH PANEL	UNFINISHED
MTL-9	PREFINISHED METAL - FASCIA AND GUTTER	MIDNIGHT BLACK / PVDF
MTL-10	PREFINISHED METAL - DOWNSPOUT	CHARCOAL / PVDF
MTL-11	PREFINISHED METAL - MSC	CHARCOAL TO MATCH (MTL-1)
MTL-12	PREFINISHED METAL - MSC	BLACK TO MATCH (MTL-5)
MTL-13	PREFINISHED METAL - SOFFIT PANEL	MIDNIGHT BLACK / PVDF
MTL-14	PREFINISHED METAL - SITE SCREEN, VERTICAL RIB	CHARCOAL / PVDF
PC-1	PRECAST CONCRETE - WALL CAPS	GREY
PT-1	EXTERIOR PAINT	CHARCOAL TO MATCH (MTL-1)
PT-2	EXTERIOR PAINT	BLACK TO MATCH (MTL-5)
SF	ALUMINUM STOREFRONT FRAMING SYSTEM	ANODIZED BLACK
WD-1	WOOD BENCH SEAT	COLOR STAIN FINISH, TBD

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1 BUILDING SECTION DIAGRAM  
3/16" = 1'-0"

**WESENBERG**  
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WESENBERGARCHITECTS.COM | 240 ALGOMA BOULEVARD, SUITE A, OSHKOSH, WISCONSIN 54901 | 920.230.4900

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Town of Brookfield, WI 53186

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BUILDING SECTION  
DIAGRAM

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**2236**

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PRESENTATION  
DRAWING

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PRESENTATION DRAWING

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PROJECT NUMBER

2236

SHEET NUMBER

**Z901**

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Strand Associates, Inc.®  
910 West Wingra Drive  
Madison, WI 53715  
(P) 608.251.4843  
www.strand.com

May 3, 2023

Mr. Bryce Hembrook  
Town of Brookfield  
645 North Janacek Road  
Brookfield, WI 53045

Re: Quest Interiors Development  
21055 Crossroads Circle  
Town of Brookfield, Wisconsin (Town)

Dear Bryce,

Strand Associates, Inc.® (Strand) has finished its initial review of the construction drawings and Storm Water & Erosion Control Calculations for the Quest Interiors Development that were received from the Town on April 25, 2023, for conformance with the Town specifications and general engineering practices. Before construction may begin, the contractor shall submit all required permits for the development to the state, Wisconsin Department of Natural Resources (WDNR), Town, and any other relevant agencies. New drawings, stormwater management plan and calculations, and a letter describing the revisions should be returned to Strand after the following concerns have been addressed.

#### **Stormwater Management Plan**

1. The time of concentration calculation for the pre-development basin has a sheet flow length of 178 feet. Standard engineering protocol is to use a maximum sheet flow length of 100 feet.
2. The time of concentration values appear to be directly entered into the HydroCAD model for the proposed 1A (2S) and 1B (3S) drainage areas. These time of concentration calculations should be provided. Also, the time of concentration paths should be shown on the Post-Development Basin Area exhibit in Appendix B.
3. Within the WinSLAMM input information in Appendix F, the total area draining to the pond (2S) is listed as 2.147 acres. The HydroCAD model notes that the drainage area into the proposed pond is 2.54 acres. Clarification should be given and/or modeling updated accordingly.
4. A stormwater maintenance agreement should be established between the owner and Town.

#### **Stormwater Conveyance**

Storm sewer sizing and inlet capacity calculations should be provided for the proposed storm sewers.

#### **Civil Existing Site and Demolition Plan–Sheet C1.0**

Specifications or a detail should be provided describing or showing how the storm sewer pipe will be plugged.

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### **Civil Site Plan–Sheet C1.1**

1. According to 17.06(3)(c)(4) in the Town ordinance, the minimum dimensions for all parking spaces provided for use by physically disabled shall be 12 feet by 18 feet. It appears that these stalls are 9 feet by 18 feet.
2. There is a callout for a Keynote 27 in the plan, but there is no description for “27” in the Keynote legend.
3. A turning movement exhibit should be provided to verify the largest vehicle (including any emergency vehicles) that will access the site can perform the required turning movements with the proposed layout.

### **Civil Grading and Erosion Control Plan–Sheet C1.2**

1. The anticipated locations of the topsoil stockpiles should be shown on the plan.
2. Silt fence should be provided between the two driveway entrances just upstream of the curb line to prevent sediment from washing on to Crossroads Circle.
3. Safety railings should be provided where the top of wall elevation is more than 30 inches above the adjacent grade according to Section 1013.1 of the Unified Building Code. The top of the retaining wall on the west side of the loading dock ramp. There is a drop of approximately 4 feet from top of the retaining wall on the west side of the loading dock ramp to the bottom of ramp near the building.
4. The scale bar appears to be incorrect.

### **Civil Utility Plan–Sheet C1.3**

1. The callout for the rim elevation of CB-1 (901.12) does not match the callout for the rim elevation shown in the Bay Loading Dock Detail (900.90).
2. Evaluate that proper separation between water, storm, and sanitary sewer mains are meeting the requirements of Section NR 811.74 of the Wisconsin Administrative Code (WAC).
3. The storm sewer structure and casting types should be called out on the plan.
4. Review that all water main design meets the requirements of Section NR 811.70 of WAC and Section 12 of the Town Sanitary District No. 4 technical specifications (see Sections 12.1–Water Main Material, 12.2–Valve Type, 12.3–Pipe Cover and length requirements, 12.5–Thrust Restraint, and 12.18–Fire Hydrant Type). Supporting documentation should be provided.
5. It should be noted that, before water utility construction can begin, a modification to the water service application will need to be submitted to the Town and, if plumbing fixtures are being added, calculations should be provided for proper meter sizing.
6. A note should be added stating that the contractor shall notify the Town Sanitary District No. 4 and field staff a minimum of 72 hours before the start of any construction or connection to existing public utilities.

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7. The existing sanitary sewer is not shown correctly on the west side of the property where the proposed sanitary service connection to the main is taking place. The sewer main is entering the manhole from the west and then heads south. There is no sewer line running north of this manhole (see enclosed markup). This will require a modification of the proposed sewer service connection to the main.
8. A 6-inch water valve should be added to the proposed water service (see enclosed markup).
9. The proposed water main tapping location is near an existing water service connection. A note should be added stating the required distance from the existing connection.
10. The scale bar appears to be incorrect.

#### **Civil Landscape and Restoration Plan–Sheet C1.4**

1. Please denote intended tree protection or woodland area protection provided on-site.
2. Landscaping Planting Schedule Comments
  - a. According to plant symbols and the plant data chart, selected species appear appropriate. A full comparison of plan quantities as laid-out versus in the planting table was not completed. It may be appropriate for plant callout leaders for use in the field or for final reviews. Planting densities, arrangement, and selection appear appropriate. See notes.
  - b. Varieties of flowering pear (*Pyrus calleryana*) are regarded as potentially invasive. If acceptable, please explore potential replacements such as suitable varieties of flowering crabapple (*Malus* species) or redbud (*Cercis canadensis*).
  - c. Deciduous shrub “Planted Size” below 18 inches does not meet code. Please remove 15-inch reference for deciduous shrubs.
  - d. Similarly, arborvitae “Planted Size” should be corrected to the 6-foot requirement, in accordance with code.
  - e. Please revise Botanical Name (genus) for Karl Forester Reed Grass as “*Calamogrostis*.”
3. Long-term light pole interference–The seeded lawn area between the parking lot and Crossroads Circle (and some other project areas) contain light poles with large deciduous tree plantings (basswood and honeylocust) within 10 to 12 feet of the poles. Please evaluate spacing arrangements or evaluate the use of smaller trees as needed.
4. Because of proximities within 12 feet of the Crossroads Circle road surface, please review planting beds that are present north and south of site access drives to confirm that they are appropriately resistant or distant to potential salt spray and other effects of the roadway and associated ditch.
5. To potentially avoid installation “settling” of plantings, burial of root collars, and potential survivability issues; please consider additions to the Tree Planting and Shrub Planting Details. This may involve altering the figure or potentially calling out plants to be “set” in the planting hole on a rigid substrate and similarly denoting the location of the root collar relative to planting and mulch placement.
6. The scale bar appears to be incorrect.

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**Civil Details–Sheet C2.1**

1. The Wet Retention Pond Detail should include the 2.5-foot rise dimension for the sharp-crested vee weir that is modeled in HydroCAD.
2. The Wet Retention Pond detail notes a 2-foot sump in the callout for the pyramid trash rack on top of the outlet structure which does not match the callout for a 4-foot sump dimension noted on the bottom of the structure. Detail should be updated accordingly.
3. The Wet Retention Pond Detail contains callouts for the “2 Year Storm Elev.”. This elevation should be provided on the detail so the contractor knows the exact elevation to install the erosion control fence and pond clay liner.

**Site Lighting Plan**

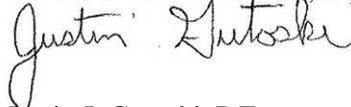
The light level at the property line shall not exceed 0.2 foot-candles at any point. Revise light pole locations or add shielding to reduce light levels at the southern property line to 0.2 foot-candles or lower.

Comments will be provided during future submittals.

Please call 608-251-4843 if you have any questions.

Sincerely,

STRAND ASSOCIATES, INC.®



Justin J. Gutoski, P.E.

- c: Tom Hagie, P.E. Town Administrator, Town of Brookfield  
Tony Skof, Sanitary District No. 4 Superintendent, Town of Brookfield  
Scott Hartung, Department of Public Works Superintendent, Town of Brookfield

**SPECIFICATION NOTE:**  
SEE SHEET CO.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

**DOWNSPOUT NOTE:**  
DS = DENOTES DOWNSPOUT TO GRADE LOCATIONS. PROVIDE SPLASH BLOCKS AT ALL DS TO GRADE LOCATIONS. SEE ARCH PLANS FOR FINAL LOCATIONS.

**DOWNSPOUT NOTE:**  
DS = DENOTES DOWNSPOUT CONNECT TO CLEANOUT AT GRADE FOR STORM SEWER LEAD. SEE ARCH PLANS FOR FINAL LOCATIONS.

**CLEANOUT NOTE:**  
CO = DENOTES LOCATIONS WHERE CONTRACTOR SHALL INSTALL CLEANOUTS, SEE CO.1 FOR SPECIFICATION.



**PROJECT INFORMATION**

PROPOSED OFFICES, SHOWROOM, AND WAREHOUSE FOR:  
**KTFM, LLC**  
21055 CROSSROADS CIRCLE • TOWN OF BROOKFIELD, WI 53186

PROFESSIONAL SEAL

**PRELIMINARY DATES**

APR. 19, 2023

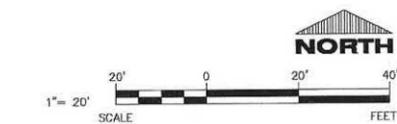
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**JOB NUMBER**

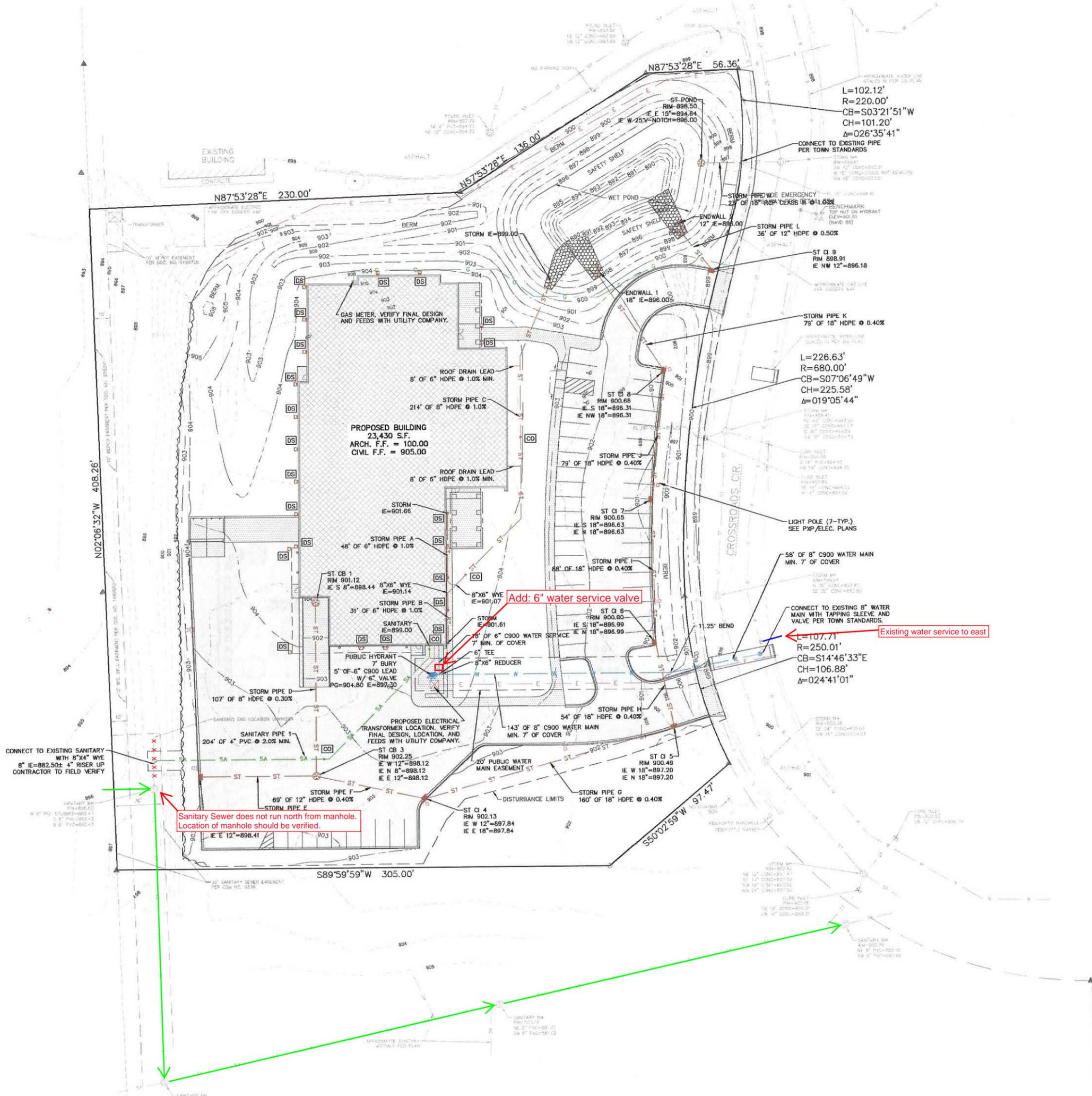
230030600

**SHEET NUMBER**

**C1.3**



CIVIL UTILITY PLAN



Sanitary Sewer does not run north from manhole. Location of manhole should be verified.

Add: 6" water service valve

Existing water service to east