

**TOWN OF BROOKFIELD
PLAN COMMISSION MINUTES
May 23, 2023**

Town Chairman Keith Henderson called the meeting to order at 7:02pm on Tuesday, May 23, 2023, at the Town of Brookfield Town Hall, 645 North Janacek Road, Brookfield, Wisconsin. Also present at the meeting were Supervisor Ryan Stanelle, Commissioners Gordon Gaeth, William Neville, Kevin Riordan, Len Smeltzer, Jeremy Watson, and Town Planner Bryce Hembrook.

CONFIRMATION OF MEETING NOTICE

Town Planner Bryce Hembrook reported that the agenda was noticed and posted as required.

MINUTES

Commissioner Watson moved to approve the minutes of the regular meeting of the April 25, 2023 Plan Commission meeting as presented. The motion was seconded by Commissioner Neville, voted on, and carried unanimously.

COREY WALLACE (WESENBERG ARCHITECTS), REPRESENTING QUEST INTERIORS, FOR A RECOMMENDATION FOR PRELIMINARY AND FINAL APPROVAL OF A NEW BUILDING CONSISTING OF AN OFFICE, PRODUCT SHOWROOM, AND PRODUCT STORAGE AND SHIPPING AREA LOCATED AT 21055 CROSSROADS CIRCLE. Planner Hembrook described the location and site plan. Parking, setbacks, total floor area, and building height meet code requirements. There are two access points from Crossroads Circle. The proposed landscaping plan was also reviewed, as well as architectural renderings. The loading dock location faces south. Planner Hembrook further reported that the Architectural Review Committee (ARC) recommended approval of preliminary plans, however they delayed recommending final approval in order to get the final report from the town engineer. Chairman Henderson inquired about the dumpster enclosure. Michael Noffke from Wesenberg Architects was present and indicated the location, and that screening between the wall and the building is to allow for additional outdoor storage. Chairman Henderson questioned if the enclosure could be moved closer to the building, allowing it to be further from the residential area to the west. Mark Twohig co-owner of Quest Interiors was in attendance and asked for clarification of the distance from the property line to the dumpster enclosure, which was determined to be 53 feet. Mr. Noffke reported that there will be no removal of trees at the property line. Mr. Twohig indicated the building will be used from 6:30am until 5:00pm, and that it is rather low use as most of their builders have their own showrooms. Quest mostly delivers their product. Chairman Henderson advised of the noise ordinance in the Town of Brookfield that includes prohibiting noise before 7:00am. The potential for trucks and back-up noises could be an issue before that time in the morning. Bollards are not shown on the plan but Mr. Noffke indicated that they will be included. Planner Hembrook asked for clarification on the site plan the extent of the trees on the landscape plan. Kurt Geiger of Excel Engineering explained that the tree drip line and where it falls, as opposed to where the trunks actually are. Mr. Geiger also showed where the sanitary sewer connection is, which is the southwest corner of the site. The only removal of trees would be to service the sewer connection should it become necessary, and would be as minimal as possible. The drainage swale location and path of drainage will be staying the same or very similar to the current status. There will be a wet pond per DNR regulations. There are doors including an overhead and passenger door on the west, and an egress door on the northwest of the building, with a stoop and grass. A motion was made by Commissioner Smeltzer to **grant** preliminary approval of a new building consisting of an office, product showroom and product storage and shipping area located at 21055 Crossroads Circle. The motion was seconded by Commissioner Watson, voted on, and carried unanimously.

RECOMMENDATION TO SCHEDULE A PUBLIC HEARING FOR A ZONING CODE TEXT AMENDMENT RELATED TO ADULT AND CHILDREN DAY CARE CENTERS. Planner Hembrook described the growing interest in adult and children day care centers recently, stated how the code reads currently, and that it could be considered somewhat vague. The suggested amendment would be that the two uses be permitted by conditional use in the B-2 and B-3 zoning districts. The Plan Commission expressed safety concerns with two of the same uses in the same building.

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Planner Hembrook indicated that any requirements that the Plan Commission might recommend could be included in the language of an amendment. Commissioner Watson made a motion to **recommend** the Town Board set a date for a public hearing for a zoning code text amendment related to adult and children day care centers. The motion was seconded by Commissioner Gaeth, voted on, and carried unanimously.

DISCUSSION REGARDING A POTENTIAL MUNICIPAL CODE TEXT AMENDMENT TO ADD SECTION 12.08, WHICH ESTABLISHES REQUIREMENTS FOR MOBILE FOOD TRUCKS OPERATING WITHING THE TOWN OF BROOKFIELD. Planner Hembrook reported that this is not part of the zoning code, but will be reviewing a proposed ordinance and wanted to get the Plan Commission's feedback. There is no public hearing required, this agenda item is just for discussion and feedback. Assistant Fire Chief Tony D'Amico has been working on the ordinance, along with Planner Hembrook, Town Administrator Tom Hagie, Town Attorney Michael Van Kleunen, and Building Inspector Jason Chromy. Asst. Chief D'Amico was present at tonight's meeting. Planner Hembrook further stated that there has been an increase in mobile food truck interest. This amendment is not for special events, but for individuals that want to park in a lot with the owner's permission. The trucks would be on private property, not parked on town roads. A handout was provided from the town attorney outlining recommended requirements. Location restrictions were addressed; hours would be limited (8:00am – 11:00pm). Signage is limited to one sandwich board, measuring at most 24" x 36". Trash receptacles are required. Trucks in the town (excluding special events) would be limited to five, not including special events. Asst. Fire Chief D'Amico opined that food trucks are gaining in popularity, and better to have an ordinance for safety reasons. D'Amico inspects all food trucks, and would approve locations. If necessary, the building inspector will do an inspection. Commissioner Smeltzer asked if private residences are permitted to have food trucks for parties. D'Amico responded that a residence can have a food truck, but would have to get a permit. Proposed fees were discussed. Commissioner Riordan pointed out that brick and mortar restaurants are against food trucks. Hembrook pointed out that many municipalities have a distance requirement from brick and mortar restaurants. D'Amico reported that food trucks are a standard commercial kitchen with a hood system, fire suppression system, etc., and the inspection is to ensure that the trucks are well equipped. The Health Department also does an inspection. A suggestion is to have the approvals good for one year. Chairman Henderson inquired whether after the suggestions from the Plan Commission are submitted for consideration, does the Plan Commission want to look at this again. The consensus was to move the proposed text code amendment forward. Plan Commission members suggested the following:

- A limit of four food trucks instead of five;
- A specific distance from brick and mortar restaurants.

TOWN OF BROOKFIELD FOR A RECOMMENDATION OF APPROVAL FOR A ZONING CODE TEXT AMENDMENT TO SECTION 17.02(14)(b)1, RELATED TO CONDITIONAL USE PERMIT PROCEDURES. This item has been on previous agendas, as well as a public hearing held before this Plan Commission meeting, in which there were no public comments. There were no additional comments from Planner Hembrook, nor the Plan Commission. Commissioner Watson made a motion to recommend **approval** for a zoning code text amendment to Section 17.02(14)(b)1, related to conditional use permit procedures. The motion was seconded by Commissioner Smeltzer, voted on, and carried unanimously.

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TOWN OF BROOKFIELD FOR A RECOMMENDATION OF APPROVAL FOR A ZONING CODE TEXT AMENDMENT TO SECTION 17.02(14)(g)11 RELATED TO FENCES. Chairman Henderson made the following suggestions for amendment:

- A privacy fence shall be 5 feet from the lot line;
- A fence shall not extend into the street yard.
- Fences currently not in compliance shall not be grandfathered in to this amendment.

Chairman Henderson pointed out that Item 11, paragraph “i”, “and shall not extend into the street yard” should also be placed in paragraph “ii”. Planner Hembrook indicated that there did not seem to be a consensus at the last meeting regarding setbacks. It was recommended that a fence within 5 feet should require a property survey. After further discussion, the consensus is to require a survey with a 5-foot setback. Chairman Henderson opined that a reason for the 5-foot setback is so the property owner can maintain the fence without trespassing on the neighbor’s yard. It was clarified that a non-privacy fence on the property line is acceptable. Planner Hembrook pointed out that the amendment as written would require a survey for a 4-foot non-privacy fence if within 5 feet of the property line. The Plan Commission agreed to prohibit chain link fencing, other than for pet kennels, and non-residential properties such as a school. Commissioner Watson asked for clarification of the setback discussion, which is as follows: a fence is permitted up to the lot line, with at least a 3-foot setback being a strong suggestion; and any fence being installed within 5 feet of the lot line requires a property survey. Watson suggested adding “but not on the lot line”. Commissioner Gaeth suggested that a requirement to contact Diggers Hotline is appropriate. Chairman Henderson suggested a step-by-step policy outlining these requirements. Hembrook commented that a section at the top of a permit application could point out that the contractor/ homeowner should contact Diggers Hotline. Hembrook also indicated that he will include the following: “shall not extend into the street yard”. A suggestion was made to indicate that underground electric fences for dogs are permissible. Hembrook reported that the building inspector suggested a \$70 permit fee, which is the minimum. Commissioner Smeltzer inquired about memory care facilities, and their ability to have a fence higher than six feet for safety reasons. Six feet is the maximum height, however Hembrook reminded the Plan Commission that any proposed fence that does not conform to the provisions in the zoning code could go through a conditional use permit process. Further discussion included defining what is “grandfathered” in the amendment. Commissioner Watson made a motion to recommend that the amendment be written in ordinance form of the zoning code text amendment to Section 17.02(14)(g)11 related to fences, and brought back to the next Plan Commission meeting with the proposed changes added. The motion was seconded by Commissioner Gaeth, voted on, and carried unanimously.

CORRESPONDENCE AND ANNOUNCEMENTS

The next meeting is June 27, 2023.

ADJOURN

There being no further business, Commissioner Neville made a motion to adjourn the meeting. The motion was seconded by Commissioner Watson, voted on, and carried unanimously. Chairman Henderson closed the meeting at 8:27pm.

Respectfully submitted,
Bryce Hembrook



Building a Better World
for All of Us®

TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

TO: Plan Commission

FROM: Bryce Hembrook, AICP
Town Planner

REPORT DATE: June 22, 2023
PC MEETING DATE: June 27, 2023

RE: **Quest Interiors – Final Approval**
21055 Crossroads Circle BKFT1129999007

SEH No. 171421, TASK 5

Applicant: Corey Wallace, Wesenberg Architects representing Quest Interiors

Application Type: Final Approval

Request

Final approval of a new building consisting of an office area, showroom, and product storage and shipping area, located at 21055 Crossroads Circle.

Summary of Request

- Zoning District = B-2 Limited General Business District
- Currently a vacant 3.68 acre parcel in an office park.
- Proposed structure = 23,431 square foot one-story facility for Quest Interiors consisting of an office area, product showroom, and product storage/shipping area. The business's main customer is local home builders and contractors. It is essentially considered a building supply store.
 - Office area = 3,470 square feet
 - Showroom = 5,803 square feet
 - Warehouse area = 14,158 square feet
- Approximately 49 parking stalls currently proposed; 39 in customer parking area and 10 stalls intended for staff.
 - According to the code, 35 parking spaces are required. Stall per land use breakdown below:
 - Office area = 14
 - Warehouse = 12
 - Showroom = 9
- Proposed setbacks:
 - Front = 108'
 - Side = 109' south and 50' north
 - Rear = 121'
 - All setbacks will meet code requirements.

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 501 Maple Avenue, Delafield, WI 53018-9351
SEH is 100% employee-owned | sehinc.com | 262.646.6855 | 888.908.8166 fax

- Sum total of floor area
 - Proposed = 14.6% of lot area.
 - Required = No less than 6,000sf or 15% of the lot area, whichever is less. Shall not exceed 50% of lot area.
 - Requirement is met.
- Proposed building height appears to be approximately 28’.
- There are single-family residences directly to the west of the subject property, but only one of the adjacent parcels is zoned residential. The majority of trees along the western property line are proposed to remain to maintain the buffer between the residential properties and the new building.

Final Approval Requirements

The purpose of final project review shall be to determine that this chapter and other Town ordinances have been fully complied with, and to authorize the issuance of a building permit, subject to the developer receiving approval of the Wisconsin Department of Safety and Professional Services (SPS) of the building plans, if required, including architectural details and lighting plan. The Plan Commission may require appropriate sureties to guarantee the completion of grading, landscaping, and construction and paving of parking and loading areas within an approved time schedule. Final approval granted by the Town Board shall expire within 12 months unless necessary building permits have been applied for and issued.

Development Review Team Feedback

The Development Review Team has reviewed the proposed plans and all of their comments and/or concerns were described in the past review letters from the Town Engineer. The Town Engineer has confirmed that all of his concerns have been addressed.

Next Steps

If approved, the Town Board will review and make a final determination.

Plan Commission Recommendation

Recommended final approval of the proposed building to the Town Board.

PROPOSED SHOWROOM, OFFICE & WAREHOUSE BUILDING

for

QUEST INTERIORS

21055 Crossroads Circle
Town of Brookfield, WI



FIELD VERIFY ALL GIVEN DATA BEFORE PREPARATION OF SHOP DRAWINGS, CONSTRUCTION AND INSTALLATION.

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Proposed Offices, Showroom and Warehouse for:

KTFM, LLC
21055 Crossroads Circle
Town of Brookfield, WI 53186

ISSUE DATE:
19 April, 2023

SET TYPE:
ZONING SUBMITTAL

REVISIONS:

NO.	DESCRIPTION	DATE

COVER SHEET

PRINTED: 4/19/2023 2:08:09 PM

PROJECT NUMBER

2236

SHEET NUMBER

G100

**PRELIMINARY
NOT FOR CONSTRUCTION**

FOR PROPER INTERPRETATION, THESE DRAWINGS SHALL BE PRINTED IN COLOR

SHEET INDEX		
SHEET NUMBER	SHEET NAME	DISCIPLINE
G100	COVER SHEET	GENERAL
C0.1	CIVIL COVER AND SPECIFICATION SHEET	CIVIL
C1.0	EXISTING SITE AND DEMOLITION PLAN	CIVIL
C1.1	SITE PLAN	CIVIL
C1.2	GRADING AND EROSION CONTROL PLAN	CIVIL
C1.3	UTILITY PLAN	CIVIL
C1.4	LANDSCAPE AND RESTORATION PLAN	CIVIL
C2.0	DETAILS	CIVIL
C2.1	DETAILS	CIVIL
C2.2	DETAILS	CIVIL
C3.1	SITE PHOTOMETRICS PLAN & DETAILS	CIVIL
AS100	SITE CONTEXT PLAN	ARCHITECTURAL SITE
AS101	ARCHITECTURAL SITE PLAN	ARCHITECTURAL SITE
A100	FIRST FLOOR DESIGN PLAN	ARCHITECTURAL
Z300	EXTERIOR DESIGN ELEVATIONS	ARCHITECTURAL PRESENTATION
Z301	EXTERIOR DESIGN ELEVATIONS	ARCHITECTURAL PRESENTATION
Z400	BUILDING SECTION DIAGRAM	ARCHITECTURAL PRESENTATION
Z900	PRESENTATION DRAWING	ARCHITECTURAL PRESENTATION
Z901	PRESENTATION DRAWING	ARCHITECTURAL PRESENTATION

CONSULTANT LIST	
ARCHITECT: WESENBERG ARCHITECTS 146 ALGOMA BLVD OSHKOSH, WISCONSIN 54901 (920) 230 - 4900 Chet Wesenberg chet.wesenberg@owarchitect.net	
OWNER: KTFM, LLC N7799 US HWY 51 FOND DU LAC, WISCONSIN 54935 (920) 233 - 3200 Mark Twohig mtwohig@questinteriorsusa.com	
STRUCTURAL ENGINEER: PATERA, LLC 2601 S. SUNNYSLOPE ROAD NEW BERLIN, WI 53151 (262) 786 - 6576 John Lavin john@PateraLLC.com	
CIVIL: EXCEL ENGINEERING, INC. 100 CAMELOT DRIVE FOND DU LAC, WI 54935 (920) 926 - 9800 Jason Daye jason.daye@excelengineer.com	
PLUMBING & FIRE PROTECTION: EXCEL ENGINEERING, INC. 100 CAMELOT DRIVE FOND DU LAC, WI 54935 (920) 926 - 9800 Ben Stratman ben.stratman@excelengineer.com	
HVAC ENGINEER: EXCEL ENGINEERING, INC. 100 CAMELOT DRIVE FOND DU LAC, WI 54935 (920) 926 - 9800 Michael Zagar michael.zagar@excelengineer.com	
ELECTRICAL DESIGNER: EXCEL ENGINEERING, INC. 100 CAMELOT DRIVE FOND DU LAC, WI 54935 (920) 926 - 9800 Tim Stoppeworth tim.stoppeworth@excelengineer.com	



VICINITY MAP



PROJECT LOCATION

PROJECT LOCATION

LOCAL MAP



SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS



Always a Better Plan
100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED OFFICES, SHOWROOM, AND WAREHOUSE FOR:
KTFM, LLC
21055 CROSSROADS CIRCLE • TOWN OF BROOKFIELD, WI 53186

PROFESSIONAL SEAL

PRELIMINARY DATES

APR. 19, 2023
MAY 3, 2023
MAY 17, 2023
MAY 22, 2023

NOT FOR CONSTRUCTION

JOB NUMBER

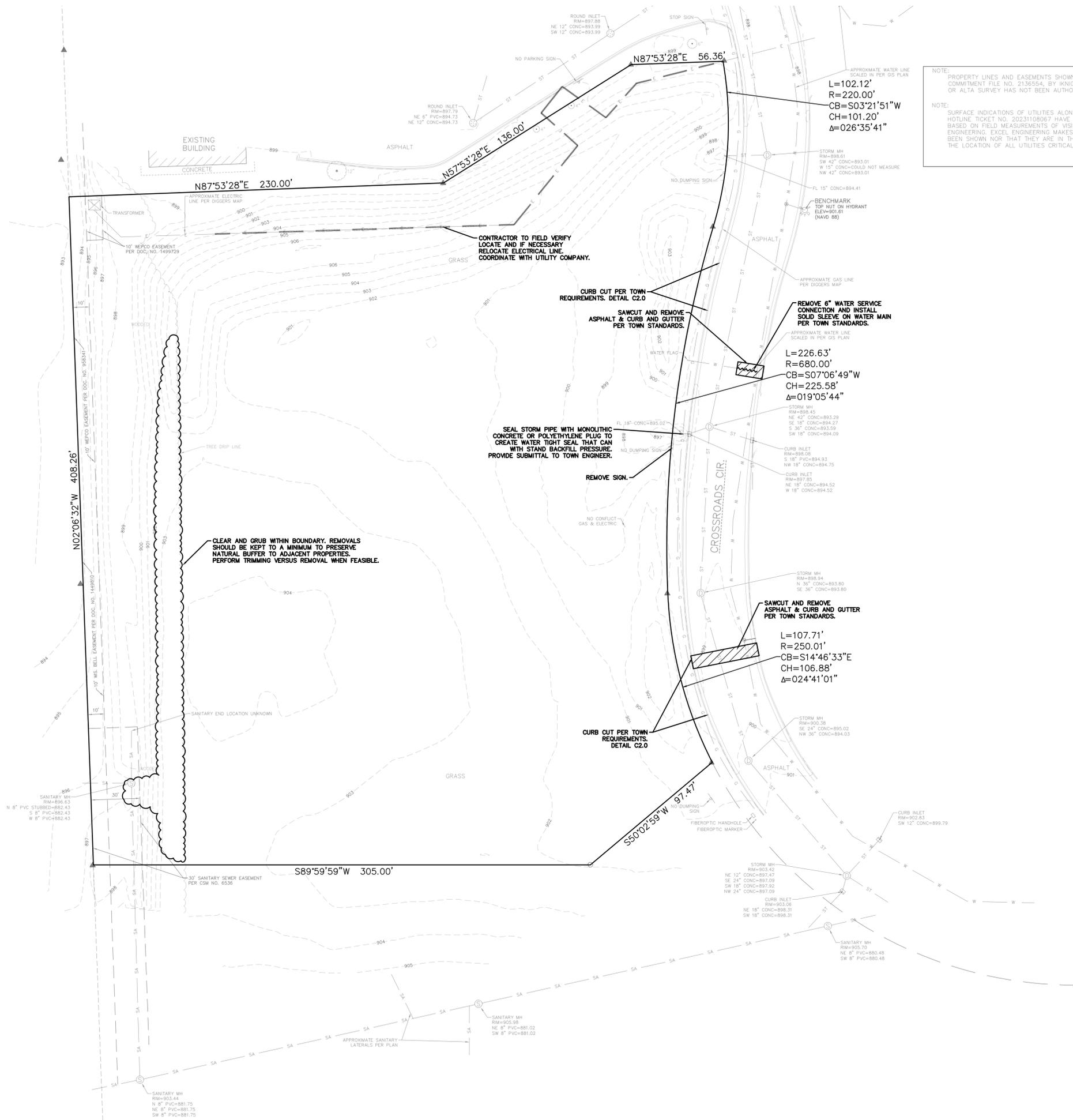
230030600

SHEET NUMBER

C1.0

NOTE: PROPERTY LINES AND EASEMENTS SHOWN ON THIS SURVEY WERE DRAFTED FROM INFORMATION CONTAINED IN TITLE COMMITMENT FILE NO. 2136554, BY KNIGHT BARRY TITLE GROUP, DATED MARCH 18, 2022. AN UPDATED PLAT OF SURVEY OR ALTA SURVEY HAS NOT BEEN AUTHORIZED.

NOTE: SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGGER'S HOTLINE MARKINGS ON THE SURVEYED PARCEL PER DIGGER'S HOTLINE TICKET NO. 20231108067 HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES CRITICAL TO CONSTRUCTION.



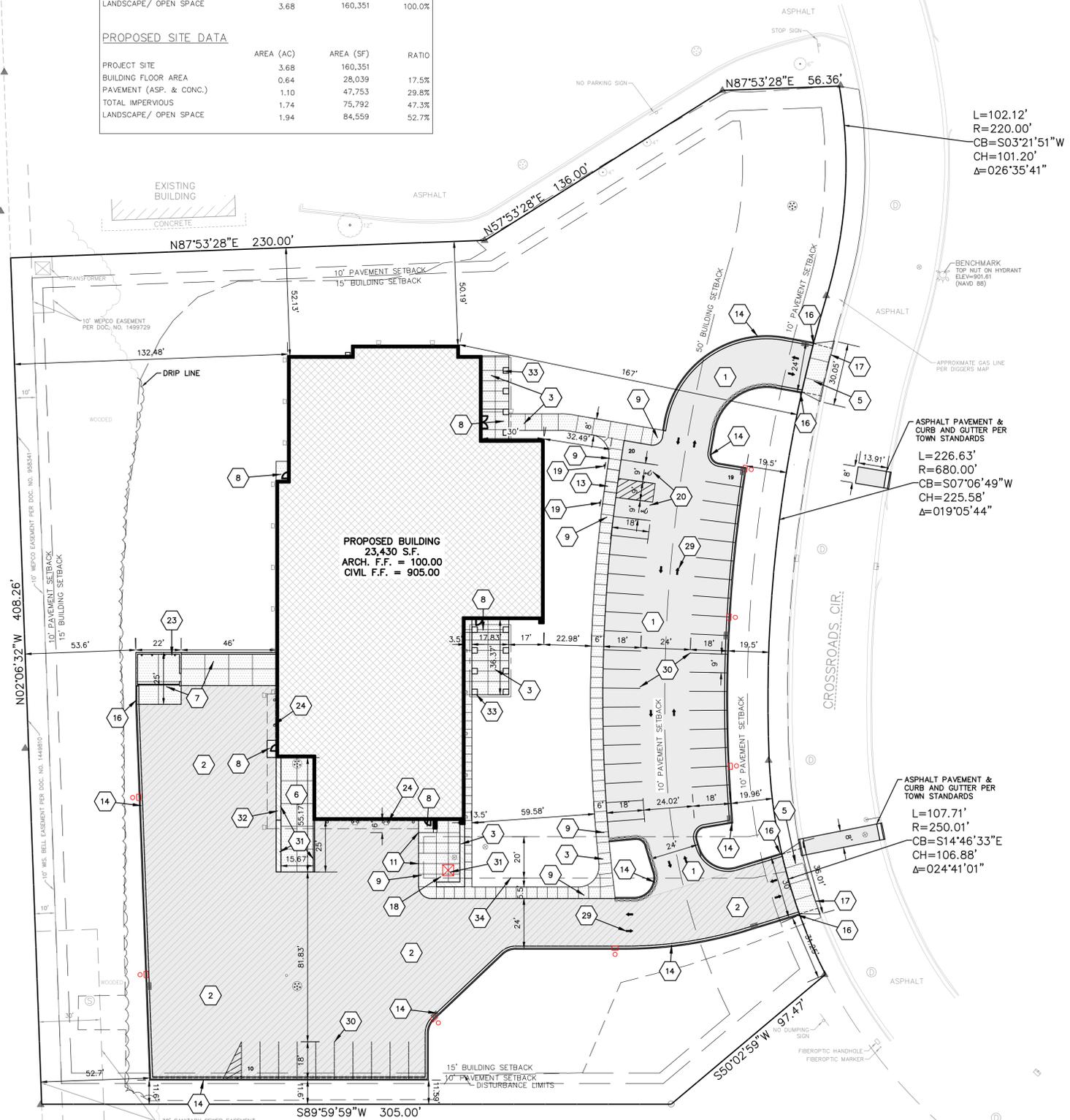
CIVIL EXISTING SITE AND DEMOLITION PLAN

EXISTING SITE DATA			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	3.68	160,351	
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.00	0	0.0%
TOTAL IMPERVIOUS	0.00	0	0.0%
LANDSCAPE/ OPEN SPACE	3.68	160,351	100.0%

PROPOSED SITE DATA			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	3.68	160,351	
BUILDING FLOOR AREA	0.64	28,039	17.5%
PAVEMENT (ASP. & CONC.)	1.10	47,753	29.8%
TOTAL IMPERVIOUS	1.74	75,792	47.3%
LANDSCAPE/ OPEN SPACE	1.94	84,559	52.7%

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

SITE INFORMATION:
PROPERTY DESCRIPTION: PRCL 1 CSM #6536 VOL 54/145 REC AS DOC #1672724 PT NE1/4 SEC 31 17N R20E
PROPERTY AREA: 160,351 S.F. (3.68 ACRES)
EXISTING ZONING: B-2 LIMITED GENERAL BUSINESS
PROPOSED ZONING: B-2
PROPOSED USE: INTERIOR FLOORING RETAIL AND WAREHOUSE
AREA OF SITE DISTURBANCE: 160,351 S.F. (3.68 ACRES)
SETBACKS: BUILDING: FRONT = 50'
SIDE = 15'
REAR = 15'
PAVEMENT: FRONT = 10'
SIDE = 10'
REAR = 10'
PROPOSED BUILDING HEIGHT: 28' (MAX. HEIGHT ALLOWED: 45')
PARKING REQUIRED: OFFICE AREA (PER 4.B: 1 STALL / 250 SF): [3,470 / 250] = 14
WAREHOUSE (PER 5C: 1 STALL PER EMPLOYEE + 1/ 5000SF):
[[((11,746 + 2412) / 5000) + 9 EMPLOYEES]] = 12
SHOWROOM (PER 2N: 3 STALLS PER SALESPERSON + 1 FOR EACH SALESPERSON): 9
TOTAL: 35
PARKING PROVIDED: 49 SPACES (2 H.C. ACCESSIBLE)
HANDICAP STALLS REQUIRED: 2, HANDICAP STALLS PROVIDED: 2
BUILDING OCCUPANCY CLASSIFICATION: S-1/B/M
CLASS OF BUILDING CONSTRUCTION: 2B



SITE PLAN KEYNOTES	
1	STANDARD ASPHALT SECTION (TYP.)
2	HEAVY DUTY ASPHALT SECTION (TYP.)
3	CONCRETE SIDEWALK/PATIO (TYP.)
5	HEAVY DUTY CONCRETE (TYP.)
6	LOADING DOCK CONCRETE (TYP.)
7	DUMPSTER PAD CONCRETE (TYP.)
8	CONCRETE STOOP (TYP.) SEE ARCH. PLANS FOR DETAILS
9	RAISED WALK (TYP.)
11	TAPER WALK 0" TO 6" IN 18'
13	ADA CURB RAMP (TYP.)
14	18" CURB & GUTTER (TYP.)
16	CURB TAPER (TYP.)
17	CURB CUT (TYP.)
18	CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
19	HANDICAP SIGN (TYP.)
20	HANDICAP STALL & STRIPING PER STATE CODES
23	DUMPSTER ENCLOSURE (SEE ARCH PLANS FOR DETAILS)
24	(8)-6" CONCRETE BOLLARDS (SEE DETAIL ON ARCH. PLAN)
28	DETECTABLE WARNING PLATE
29	TRAFFIC FLOW ARROWS, COLOR TO MATCH PARKING STALL STRIPING
30	PAINT STRIPING (TYP.)
31	RETAINING WALL SEE ARCH. PLANS FOR DETAILS
32	CANOPY SEE ARCH. PLANS FOR DETAILS
33	COLUMNS AND PERGOLA SEE ARCH. PLANS FOR DETAILS
34	20' PUBLIC WATER MAIN EASEMENT.

PAVEMENT HATCH KEY:
 [Hatch] STANDARD ASPHALT
 [Hatch] HEAVY DUTY ASPHALT
 [Hatch] CONCRETE

CURB & GUTTER MARKING KEY:
 [Symbol] INVERTED CURB & GUTTER
 [Symbol] SHEDDING CURB & GUTTER

SCALE: 1" = 30' FEET
 NORTH

EXCEL
 Always a Better Plan
 100 Camelot Drive
 Fond du Lac, WI 54935
 920-926-9800
 excelengineer.com

PROJECT INFORMATION
 PROPOSED OFFICES, SHOWROOM, AND WAREHOUSE FOR:
KTFM, LLC
 21055 CROSSROADS CIRCLE • TOWN OF BROOKFIELD, WI 53186

PROFESSIONAL SEAL

PRELIMINARY DATES

APR. 19, 2023
MAY 3, 2023
MAY 17, 2023
MAY 22, 2023

NOT FOR CONSTRUCTION

JOB NUMBER
230030600

SHEET NUMBER
C1.1

CIVIL SITE PLAN



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100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
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PROJECT INFORMATION

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KTFM, LLC

21055 CROSSROADS CIRCLE • TOWN OF BROOKFIELD, WI 53186

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MAY 22, 2023

JOB NUMBER

230030600

SHEET NUMBER

C1.2

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

NOTES:

- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
- ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.

INLET PROTECTION NOTE:

IP

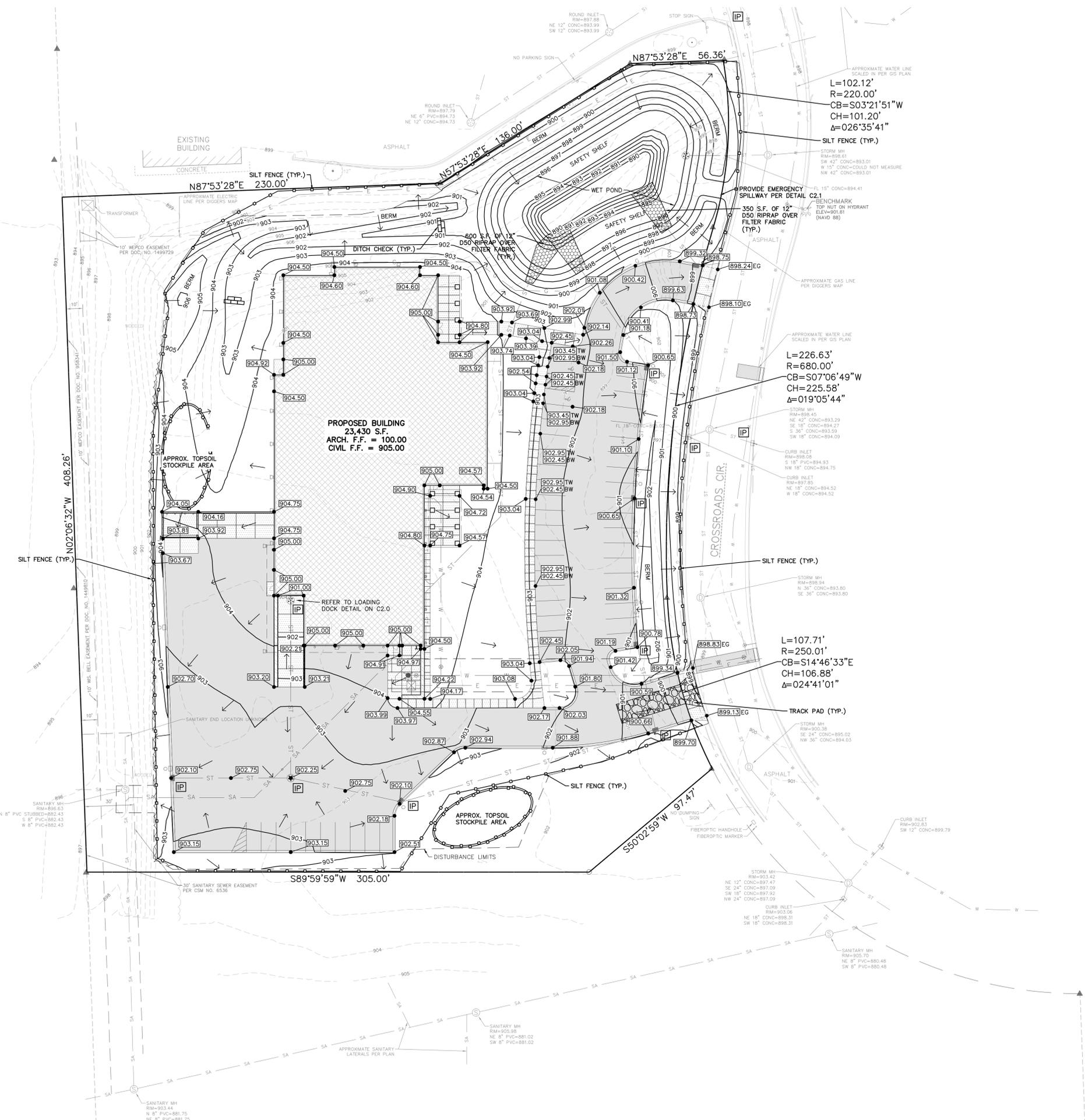
CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

STABILIZED CONSTRUCTION ENTRANCE NOTE:

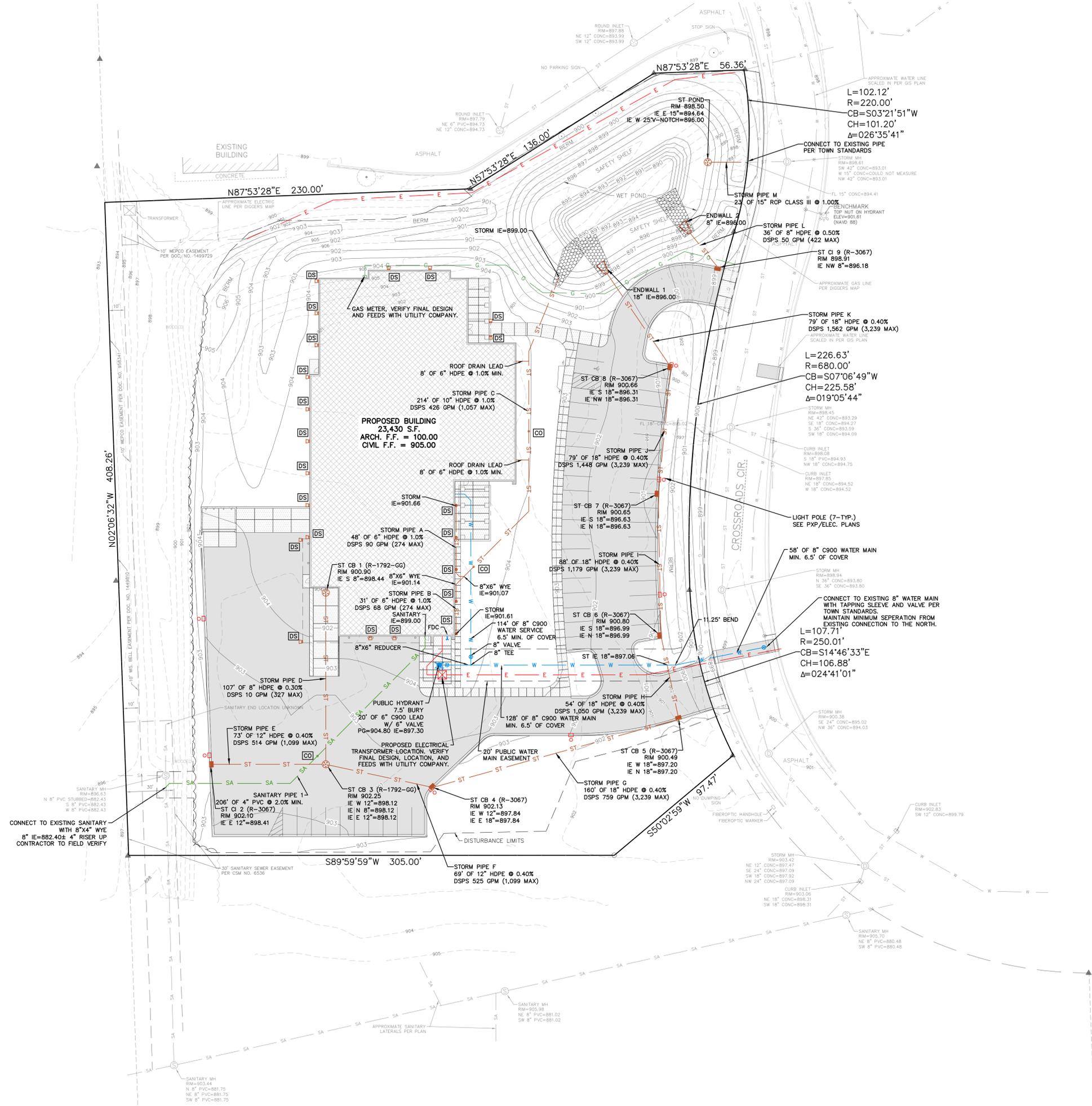
CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

CONCRETE WASHOUT NOTE:

CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.



CIVIL GRADING AND EROSION CONTROL PLAN



SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS.

ALL WATER MAIN SHALL MEET THE SPECIFICATIONS AND REQUIREMENTS OF NR 811.70 WAC AND TOWN OF BROOKFIELD SANITARY DISTRICT NO. 4 TECHNICAL SPECIFICATIONS.

TOWN OF BROOKFIELD NOTES:

- PRIOR TO WATER UTILITY CONSTRUCTION CAN BEGIN A MODIFICATION TO THE WATER SERVICE APPLICATION WILL NEED TO BE SUBMITTED TO THE TOWN. IF PLUMBING FIXTURES ARE BEING ADDED, CALCULATIONS SHOULD BE PROVIDED FOR PROPER METER SIZING.
- CONTRACTOR SHALL NOTIFY THE TOWN SANITARY DISTRICT NO. 4 AND FIELD STAFF A MINIMUM OF 72 HOURS BEFORE THE START OF ANY CONSTRUCTION OR CONNECTION TO EXISTING PUBLIC UTILITIES.

DOWNSPOUT NOTE:

DS = DENOTES DOWNSPOUT TO GRADE LOCATIONS. PROVIDE SPLASH BLOCKS AT ALL DS TO GRADE LOCATIONS. SEE ARCH PLANS FOR FINAL LOCATIONS.

DOWNSPOUT NOTE:

DS = DENOTES DOWNSPOUT CONNECT TO CLEANOUT AT GRADE FOR STORM SEWER LEAD. SEE ARCH PLANS FOR FINAL LOCATIONS.

CLEANOUT NOTE:

CO = DENOTES LOCATIONS WHERE CONTRACTOR SHALL INSTALL CLEANOUTS. SEE C0.1 FOR SPECIFICATION.



PROJECT INFORMATION

PROPOSED OFFICES, SHOWROOM, AND WAREHOUSE FOR:
KTFM, LLC
21055 CROSSROADS CIRCLE • TOWN OF BROOKFIELD, WI 53186

PROFESSIONAL SEAL

PRELIMINARY DATES

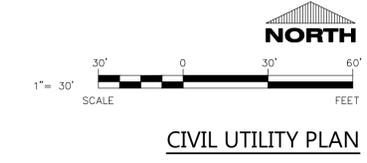
APR. 19, 2023
MAY 3, 2023
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MAY 22, 2023

JOB NUMBER

230030600

SHEET NUMBER

C1.3



NOT FOR CONSTRUCTION

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

EROSION MATTING LOCATION



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

LANDSCAPING PLANTING SCHEDULE				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS TREES				
☉	Skyline Honeylocust	Gleditsia triacanthos 'Skyline'	2"	4
☉	Autumn Blaze Maple	Acer x freemanii 'Jeffers'	2"	4
☉	Redmond Linden	Tilia americana	2"	5
☉	Flowering Crabapple (Spring Snow)	Malus x hybrid (Spring Snow)	2"	3
☉	Ann Magnolia	Magnolia liliflora 'Nigra'	2"	4
EVERGREEN TREES				
☉	Black Hills Spruce	Picea glauca	6"	6
☉	Arborvitae - Nigra	Thuja occidentalis 'Nigra'	6"	6
DECIDUOUS SHRUBS				
☉	Anthony Waterer Spirea	Spiraea x bumalda 'Anthony Water'	18"	6
☉	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro Low'	18"	13
☉	Rhododendron	Rhododendron haaga	18"	9
☉	Limelight Hydrangea Tree	Hydrangea paniculata 'Limelight'	4'-5'	5
EVERGREEN SHRUBS				
☉	Arcadia Juniper	Juniperus sabinia 'arcadia'	24"	7
☉	Taunton Yew	Tauntonii	24"	5
☉	Wintergreen Boxwood	Buxus sinica var insularis 'Wintergreen'	18"	11
PERENNIALS				
*	Karl Foerster Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 gal pot	16
*	Daylilies 'Stella de Oro'	Hemerocallis 'Stella de Oro'	1 gal pot	15
*	Walker's Low Catmint	Napeta x faassenii 'Walker's low'	1 gal pot	9
*	Hostas	Hostas 'Royal Standard'	1 gal pot	13

PROJECT INFORMATION

PROPOSED OFFICES, SHOWROOM, AND WAREHOUSE FOR:

KTFM, LLC

21055 CROSSROADS CIRCLE • TOWN OF BROOKFIELD, WI 53186

PROFESSIONAL SEAL

PRELIMINARY DATES

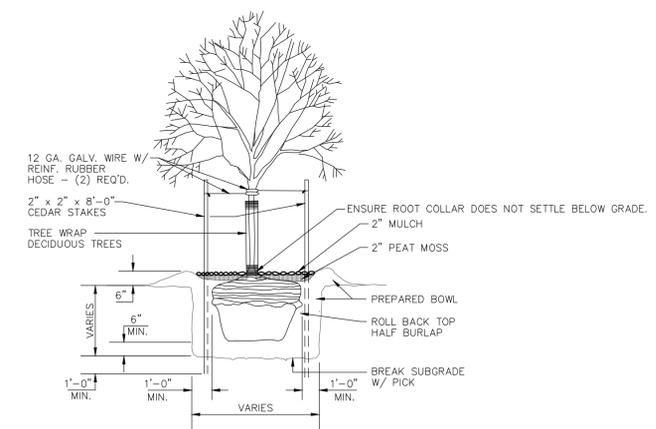
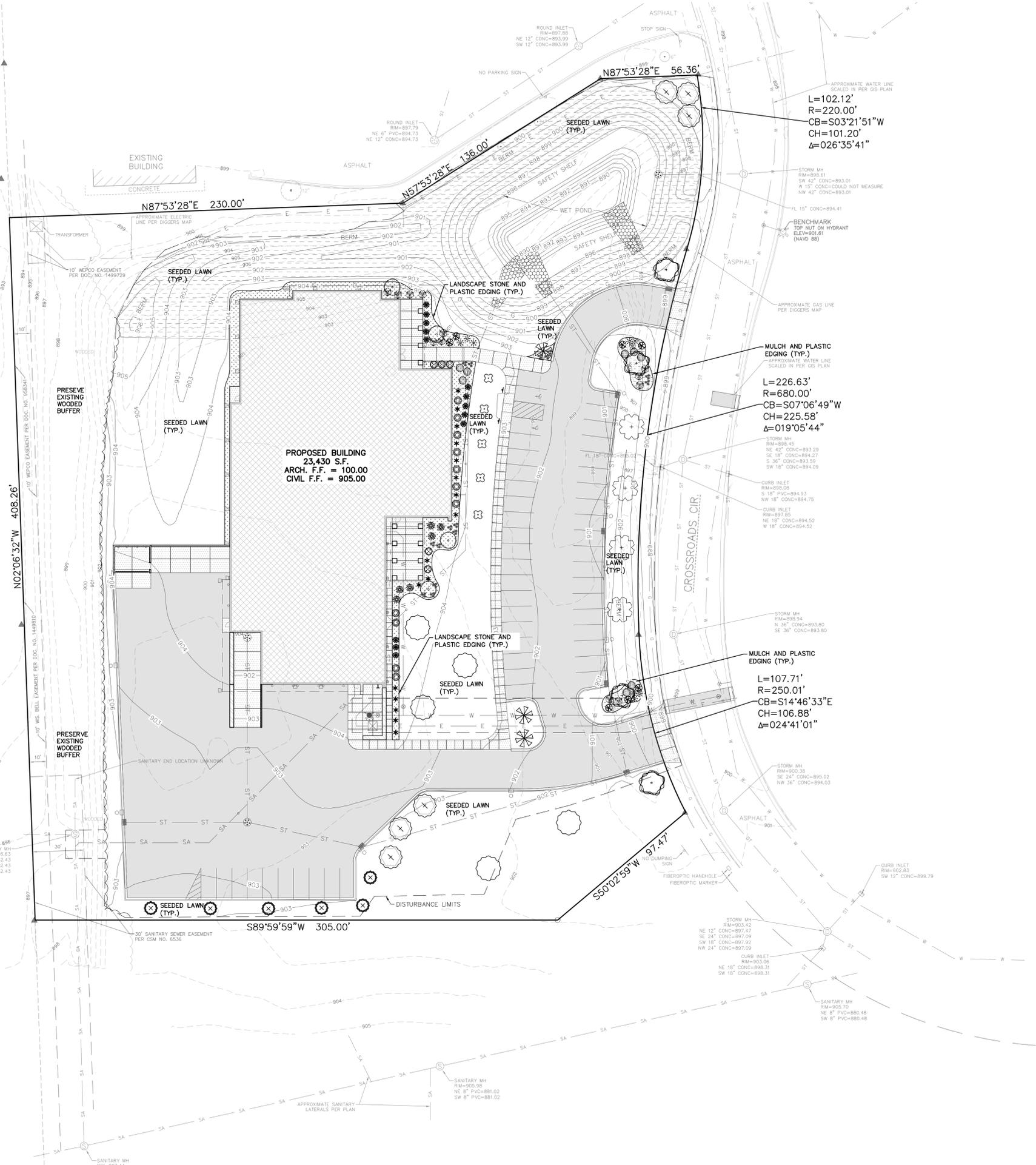
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MAY 3, 2023
MAY 17, 2023
MAY 22, 2023

JOB NUMBER

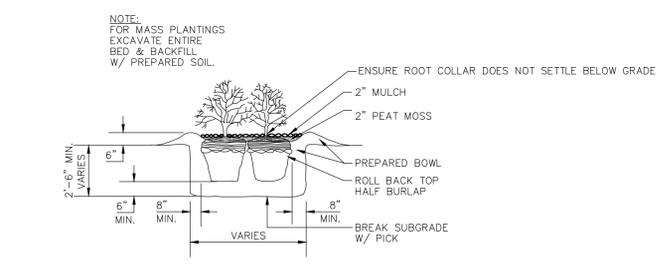
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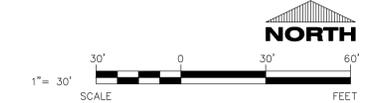
C1.4



TREE PLANTING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE



CIVIL LANDSCAPE AND RESTORATION PLAN

NOT FOR CONSTRUCTION

PROJECT INFORMATION

PROPOSED OFFICES, SHOWROOM, AND WAREHOUSE FOR:
KTFM, LLC
 21055 CROSSROADS CIRCLE • TOWN OF BROOKFIELD, WI 53186

PROFESSIONAL SEAL

PRELIMINARY DATES

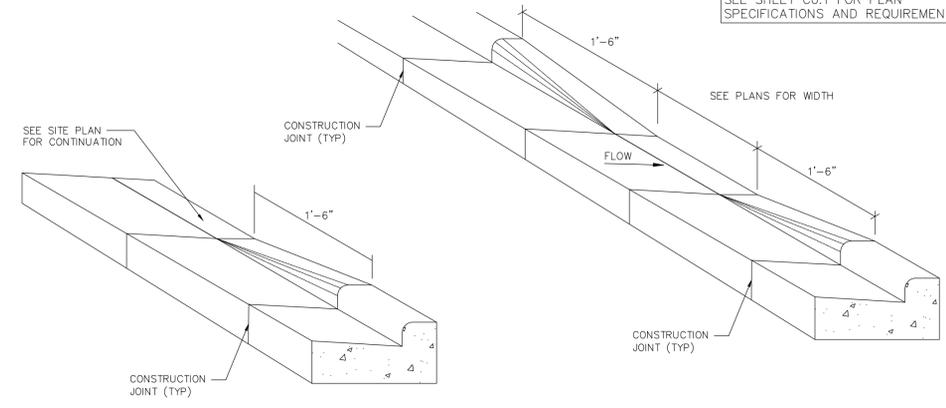
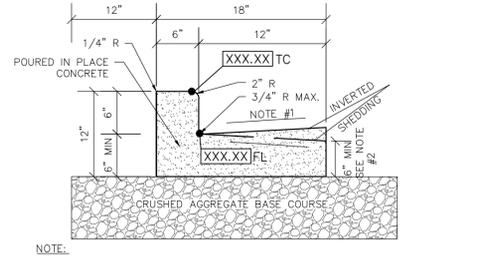
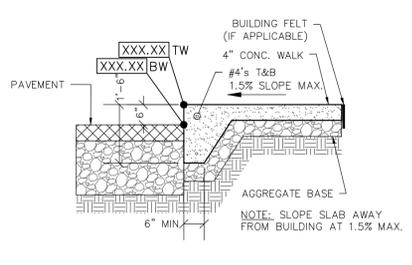
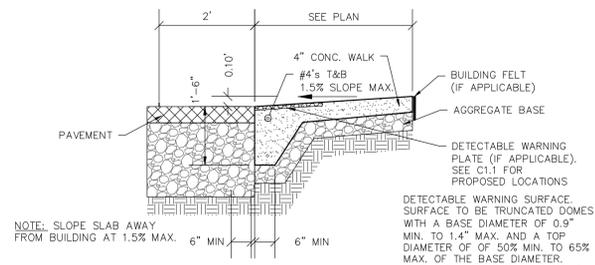
APR. 19, 2023
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MAY 17, 2023
MAY 22, 2023

NOT FOR CONSTRUCTION

JOB NUMBER
 230030600

SHEET NUMBER
C2.0

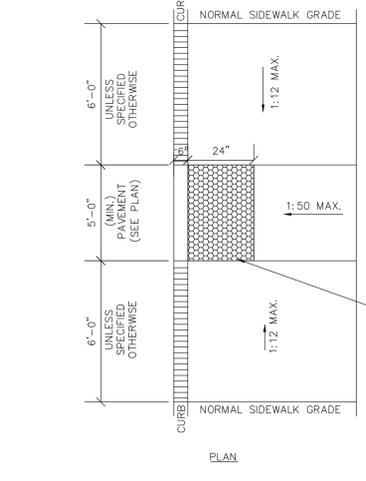
SPECIFICATION NOTE:
 SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS



NOTE: SLOPE SLAB AWAY FROM BUILDING AT 1.5% MAX. 6" MIN. 6" MIN.

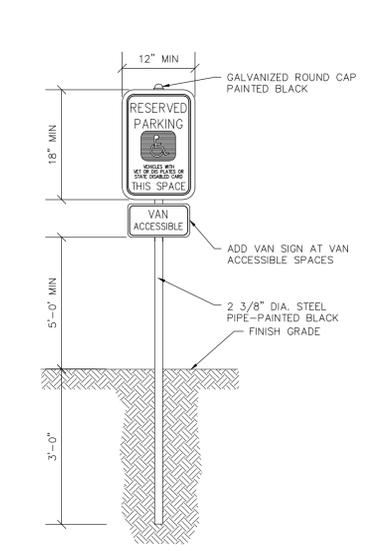
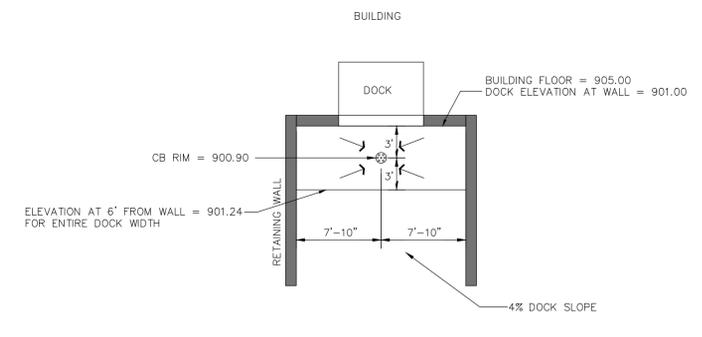
DETECTABLE WARNING SURFACE TO BE TRUNCATED DOMES WITH A BASE DIAMETER OF 0.9" MIN. TO 1.4" MAX. AND A TOP DIAMETER OF 50% MIN. TO 65% MAX. OF THE BASE DIAMETER. HEIGHT OF DOMES SHALL HAVE A HEIGHT OF 0.2". TRUNCATED DOMES SHALL HAVE A CENTER-TO-CENTER SPACING OF 1.6" MIN. AND 2.4" MAX. AND A BASE-TO-BASE SPACING OF 0.65" MIN. MEASURED BETWEEN THE MOST ADJACENT DOMES ON THE GRID. DOMES SHALL BE ALIGNED IN A SQUARE GRID PATTERN.

NOTE:
 1. USE 4% GUTTER CROSS SLOPE UNLESS OTHERWISE NOTED IN THE PLANS.
 2. THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MIN. GUTTER THICKNESS IS MAINTAINED.
 3. SEE SITE PLAN & GRADING PLAN FOR INVERTED & SHEDDING CURB LOCATIONS



NOTE: ADA CURB RAMP SHALL CONFORM TO THE CURRENT EDITION OF ADA STANDARDS FOR ACCESSIBLE DESIGN FOR ALL REQUIREMENTS.

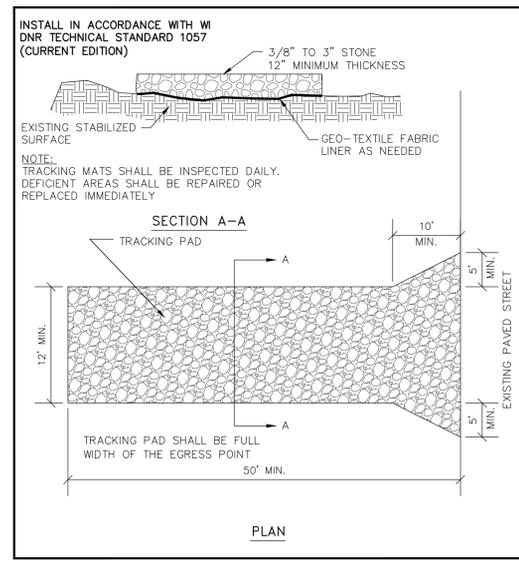
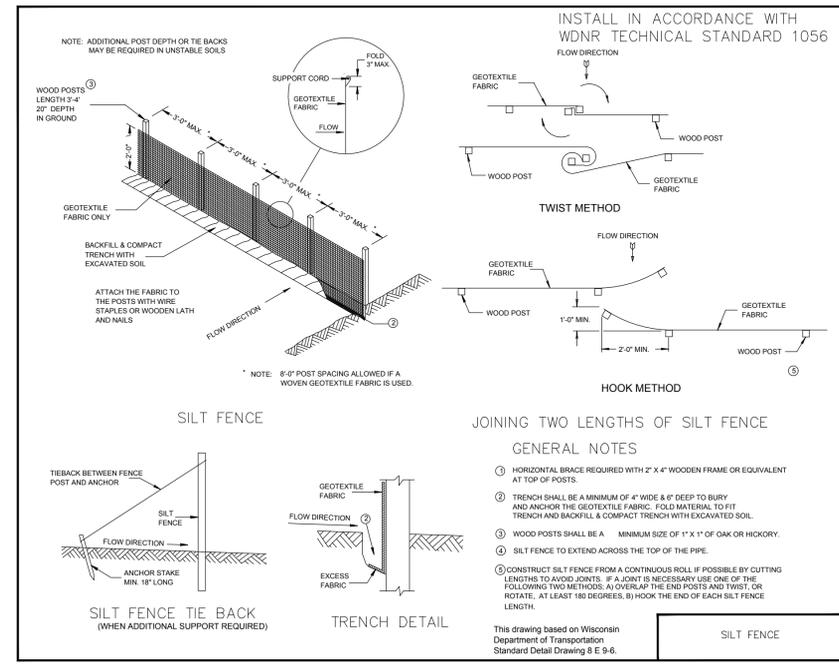
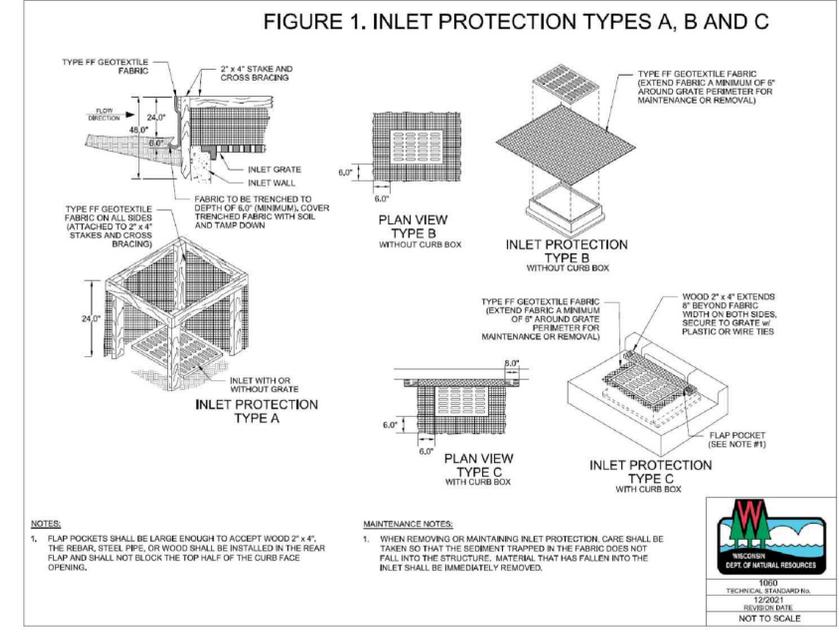
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NOTE: UNLESS OTHERWISE SPECIFIED, PAVEMENT SHALL BE 4" CONC. ON 6" MIN. 4" CONC. WALK. 1.5% SLOPE MAX. BUILDING FELT (IF APPLICABLE). AGGREGATE BASE. DETECTABLE WARNING PLATE (IF APPLICABLE). SEE C1.1 FOR PROPOSED LOCATIONS.

NOTE: BUILDING FLOOR = 905.00 DOCK ELEVATION AT WALL = 901.00 CB RIM = 900.90 ELEVATION AT 6" FROM WALL = 901.24 FOR ENTIRE DOCK WIDTH. 4% DOCK SLOPE.

NOTE: GALVANIZED ROUND CAP PAINTED BLACK. ADD VAN SIGN AT VAN ACCESSIBLE SPACES. 2 3/8" DIA. STEEL PIPE-PAINTED BLACK. FINISH GRADE.



GENERAL NOTES

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD NO. 1053 (CHANNEL EROSION MAT).

VARIATIONS IN THE DIMENSIONS OR MATERIALS SHOWN HEREON SHALL BE PERMITTED IF THEY PROVIDE EQUIVALENT PROTECTION AND MATERIAL STRENGTH AND IF PRIOR APPROVAL OF THE ENGINEER IS OBTAINED.

LAP JOINTS SHALL NOT BE PLACED IN THE BOTTOM OF V-SHAPED DITCHES.

JUNCTION SLOTS ON ADJACENT STRIPS OF MATTING SHALL BE STAGGERED A MINIMUM OF 4 FEET APART.

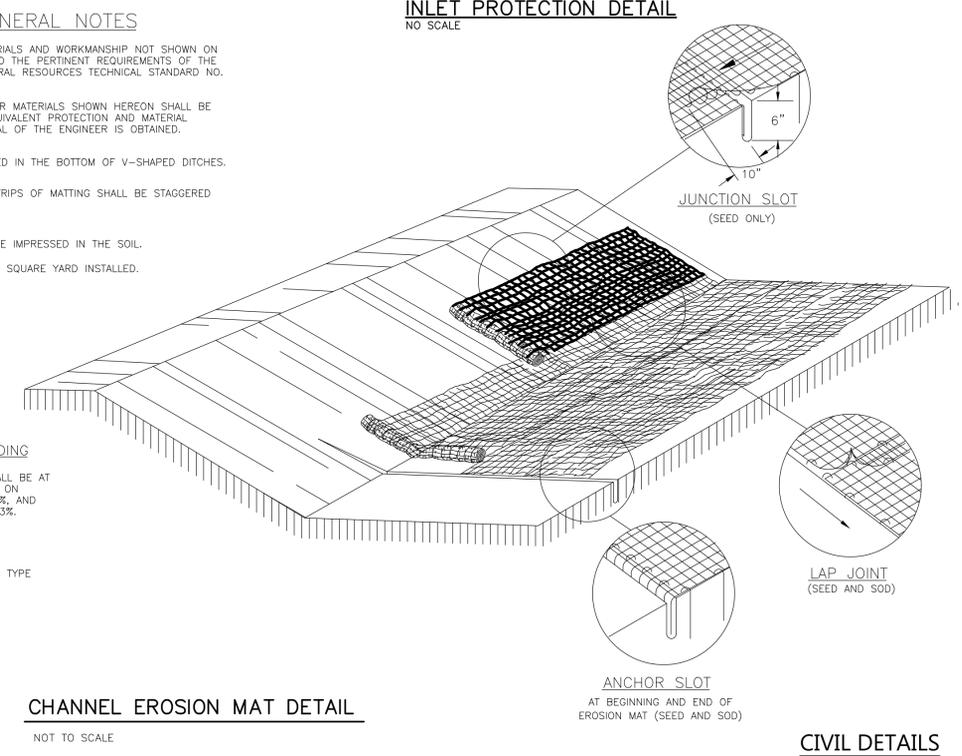
EDGES OF EROSION MAT SHALL BE IMPRESSED IN THE SOIL.

EROSION MAT SHALL PAID BY THE SQUARE YARD INSTALLED.

EROSION MAT OVER SEEDING

JUNCTION OR ANCHOR SLOTS SHALL BE AT MINIMUM INTERVALS OF 100 FEET ON GRADES UP TO AND INCLUDING 3%, AND 50 FEET ON GRADES EXCEEDING 3%.

NOTE: SEE SPECIFICATIONS FOR MATTING TYPE



CHANNEL EROSION MAT DETAIL

CIVIL DETAILS

SPECIFICATION NOTE:
SEE SHEET CO.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

PROJECT INFORMATION

PROPOSED OFFICES, SHOWROOM, AND WAREHOUSE FOR:
KTFM, LLC
21055 CROSSROADS CIRCLE • TOWN OF BROOKFIELD, WI 53186

PROFESSIONAL SEAL

PRELIMINARY DATES

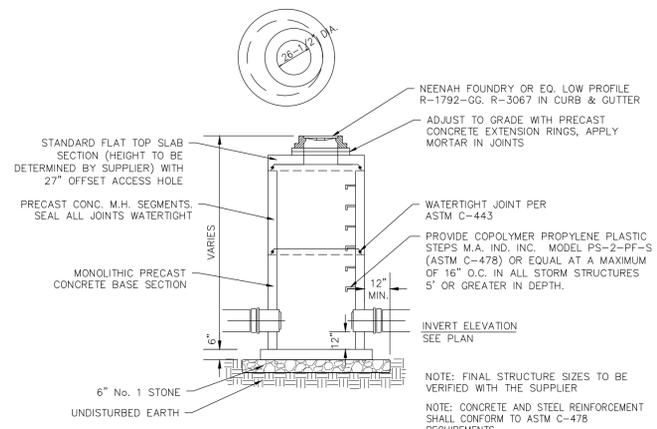
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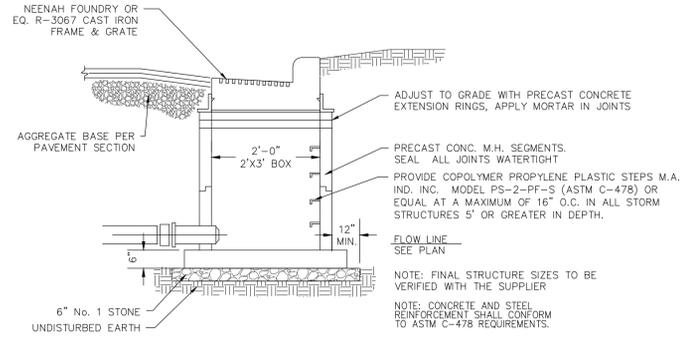
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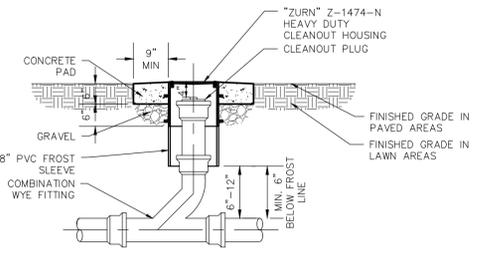
C2.1



STORM CATCH BASIN (CB) W/ SUMP DETAIL
NO SCALE



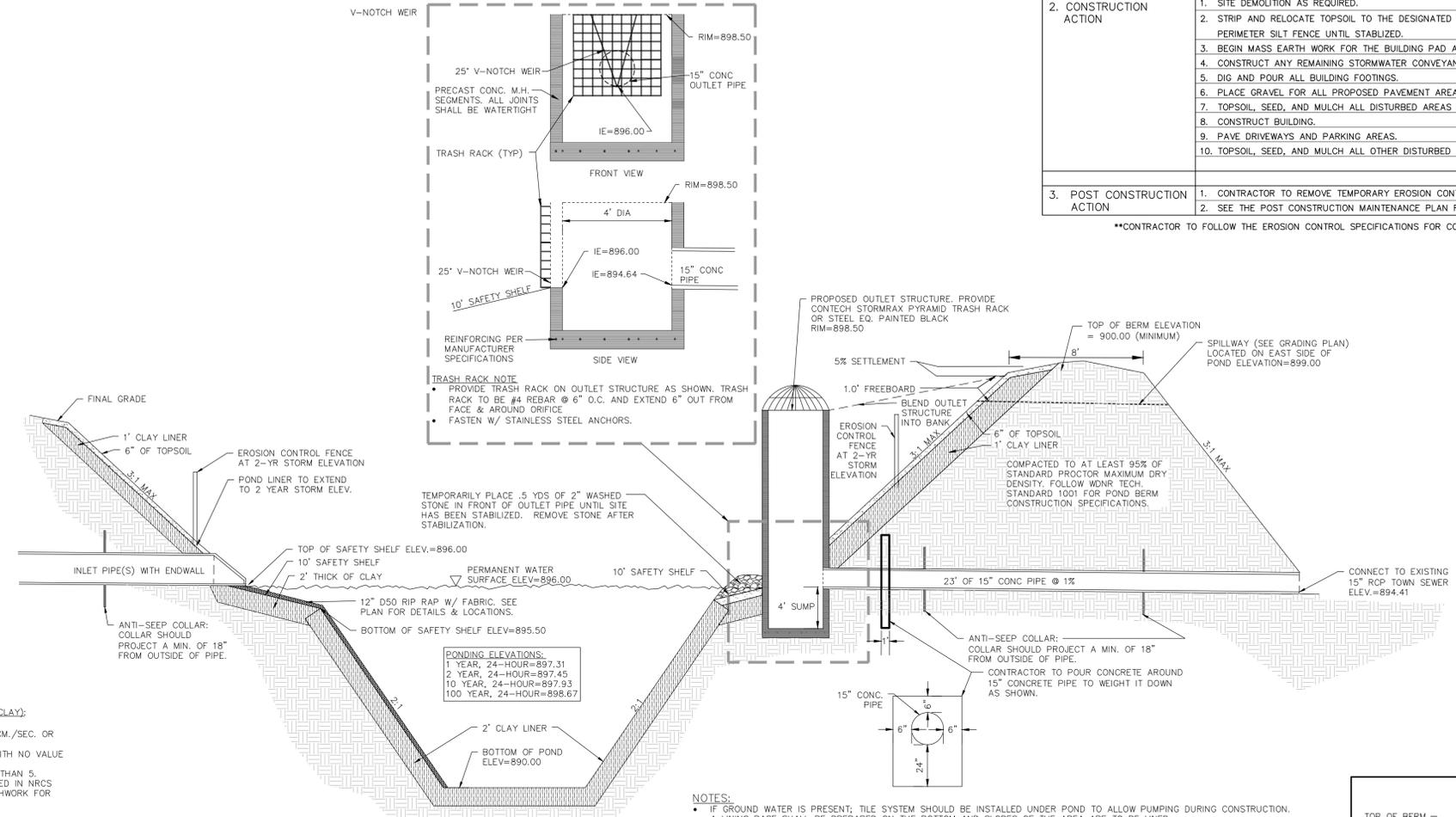
STORM CURB INLET (CI) DETAIL
NO SCALE



CLEANOUT TO GRADE DETAIL
NO SCALE

CONSTRUCTION SEQUENCE	
PHASE	TYPE OF ACTION
1. PRE-CONSTRUCTION ACTION	<ol style="list-style-type: none"> CONTRACTOR TO CALL DIGGERS HOTLINE AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION. PLACE ALL SILT FENCE. CONSTRUCT TRACKING STONE ENTRANCES AND ANY TEMPORARY CONSTRUCTION ROADWAYS AS NEEDED. CONSTRUCT PERMANENT DETENTION PONDS AND PERMANENT STORMWATER CONVEYANCE SYSTEMS. CONSTRUCT TEMPORARY SEDIMENT TRAPS, SEDIMENT BASINS, AND ANY TEMPORARY STORMWATER CONVEYANCE SYSTEMS AS NEEDED. STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED.
2. CONSTRUCTION ACTION	<ol style="list-style-type: none"> SITE DEMOLITION AS REQUIRED. STRIP AND RELOCATE TOPSOIL TO THE DESIGNATED TOPSOIL STOCKPILE. FINAL LOCATION BY CONTRACTOR (VERIFY W/ OWNER). PROVIDE PERIMETER SILT FENCE UNTIL STABILIZED. BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS. CONSTRUCT ANY REMAINING STORMWATER CONVEYANCE SYSTEMS, AND INSTALL ALL OTHER UTILITIES ON SITE. DIG AND POUR ALL BUILDING FOOTINGS. PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS, INCLUDING FIRE LANES. TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS. CONSTRUCT BUILDING. PAVE DRIVEWAYS AND PARKING AREAS. TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS. PLACE EROSION MATTING AND RIP RAP.
3. POST CONSTRUCTION ACTION	<ol style="list-style-type: none"> CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION. SEE THE POST CONSTRUCTION MAINTENANCE PLAN FOR PERMANENT STORMWATER MANAGEMENT SYSTEMS.

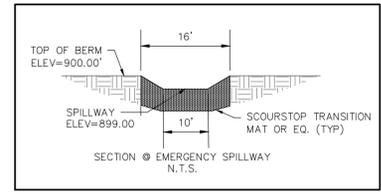
CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE.



WET RETENTION POND
NO SCALE

NOTES:

- IF GROUND WATER IS PRESENT; TILE SYSTEM SHOULD BE INSTALLED UNDER POND TO ALLOW PUMPING DURING CONSTRUCTION.
- A LINING BASE SHALL BE PREPARED ON THE BOTTOM AND SLOPES OF THE AREA ARE TO BE LINED.
- LINING BASE MATERIAL SHALL BE FREE OF ALL SHARP OBJECTS, ROOTS GRASS AND VEGETATION.
- THE BASE MATERIAL SHALL BE NATIVE MATERIALS OR MATERIALS OBTAINED FROM A BORROW SOURCE COMPACTED TO A MIN. OF 95% COMPACTING OR AN APPROVED CONSTRUCTION FABRIC.
- THE SUBGRADE SHALL BE PREPARED IMMEDIATELY PRIOR TO THE PLACING OF THE LINER. THE SURFACE ON WHICH THE LINER IS TO BE PLACED IS TO BE FIRM, CLEAN, DRY AND SMOOTH.
- AT END OF SITE CONSTRUCTION, POND DEPTH SHALL BE CHECKED FOR SEDIMENTATION AND DREDGED, IF NECESSARY, TO THE DESIGN DEPTH ORIGINALLY PROPOSED.
- CONTRACTOR SHALL PROVIDE EROSION MATTING AS REQUIRED PER SPECIFICATIONS NOTED ON CO.1.
- CONTRACTOR TO CONTACT EXCEL ENGINEERING TO COMPLETE AN AS-BUILT SURVEY FOLLOWING COMPLETION OF THE CONSTRUCTION OF THE STORMWATER POND. THE SURVEY SHALL BE COMPLETED PRIOR TO THE POND FILLING WITH WATER. CONTRACTOR SHALL GIVE EXCEL ENGINEERING A MINIMUM OF A 3 DAY NOTICE. PLEASE NOTE THAT THE HORIZONTAL TOLERANCE FOR POND CONSTRUCTION IS 0.50' AND THE VERTICAL TOLERANCE FOR POND, OUTLET, AND SPILLWAY CONSTRUCTION IS 0.10'. ANY ADDITIONAL WORK REQUIRED TO SURVEY A POND FULL OF WATER OR FOR SURVEYING FOLLOWING REWORK SHALL BE AT THE CONTRACTOR'S EXPENSE.



(EAST) EMERGENCY SPILLWAY DETAIL
NO SCALE

POND LINER CRITERIA FOR SAFETY SHELF AND BELOW (CLAY):

- 50X FINES (200 SIEVE) OR MORE.
- AN IN-PLACE HYDRAULIC CONDUCTIVITY OF 1×10^{-6} CM./SEC. OR LESS.
- AVERAGE LIQUID LIMIT VALUE OF 16 OR GREATER, WITH NO VALUE LESS THAN 14.
- AVERAGE PI OF 7 OR MORE WITH NO VALUES LESS THAN 5.
- CLAY COMPACTION AND DOCUMENTATION AS SPECIFIED IN NRCS WISCONSIN CONSTRUCTION SPECIFICATION 204, EARTHWORK FOR WASTE STORAGE FACILITIES.
- MINIMUM THICKNESS OF TWO FEET.
- SPECIFY METHOD FOR KEEPING POOL FULL OR USE OF COMPOSITE SOILS BELOW LINER.

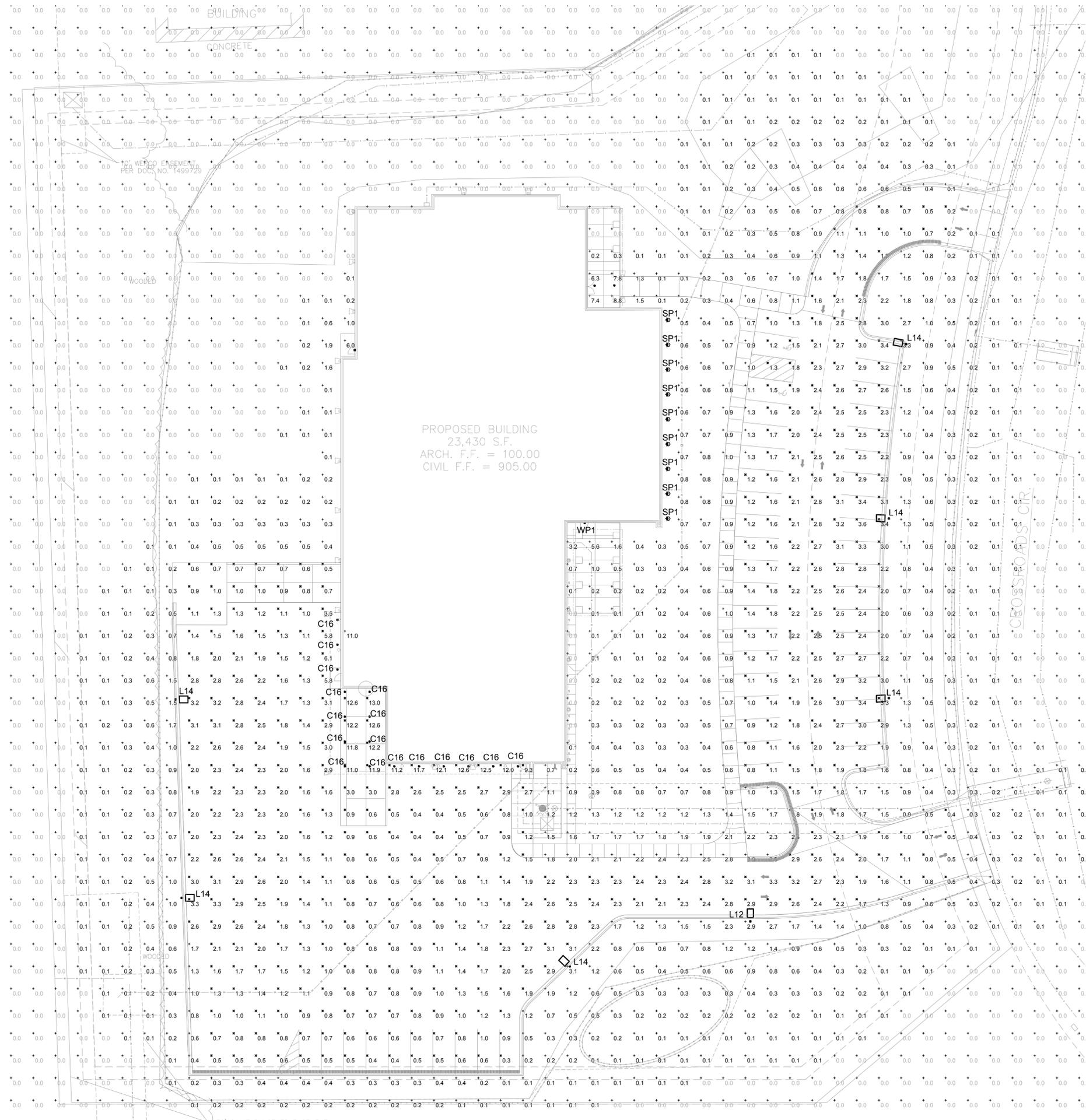
POND LINER ALTERNATE:

- CONTRACTOR TO PROVIDE 40 MIL/HDPE POND LINER IN LIEU OF CLAY LINER TO LINE ENTIRE POND AREA UP TO THE 2 YEAR, 24-HOUR WATER PONDING ELEVATION (SEE ELEVATION ON DETAIL).
- DESIGN ACCORDING TO THE CRITERIA IN TABLE 3 OF THE NRCS 313, WASTE STORAGE FACILITY TECHNICAL STANDARD
- INSTALL ACCORDING TO NRCS WISCONSIN CONSTRUCTION SPECIFICATION 202, POLYETHYLENE GEOMEMBRANE LINING.

4-6" ROUND STONE OVER FILTER FABRIC SHALL BE PROVIDED TO COVER THE ENTIRE LINER. TOP OF STONE SHALL MATCH PROPOSED POND ELEVATIONS.

OVERALL STORMWATER FACILITY DETAIL
NO SCALE

NOT FOR CONSTRUCTION



D-Series Size 2 LED Area Luminaire

Specifications

Size: 24" x 48"

Length: 48"

Width: 24"

Height: 10"

Introduction

The modern styling of the D-Series features a highly adjustable, that blends seamlessly with its environment. The D-Series offers the benefits of the latest LED technology with a high performance, high efficiency long-life luminaire.

The outstanding photometric performance is achieved with excellent uniformity, greater pole spacing and lower power density. D-Series maintains primary task in reducing the number of poles required in area lighting applications with total energy savings of up to 50% vs. 100W/HED and expected service life of over 50,000 hours.

Ordering Information

EXAMPLE: DSX2 LED P1 40K 80CRI TMMOUNT SPA NUTMOUNT FINN DODD

Item	Quantity	Part Number	Description	Notes
DSX2	1	15605	D-Series Size 2 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 2 Medium	

WDGE2 LED Architectural Wall Sconce Visual Comfort Cycle

Specifications

Depth: 10"

Width: 10"

Height: 10"

Introduction

The WDGE2 LED sconce is designed to meet the needs of architectural lighting applications. The sleek modern design is a perfect fit for any interior or exterior application. The WDGE2 sconce is available in a variety of finishes and is designed to provide a high quality, long-life lighting solution for interior and exterior applications in any environment.

Ordering Information

EXAMPLE: WDGE2 LED P1 40K 80CRI W/ MOUNT SPA DODD

Item	Quantity	Part Number	Description	Notes
WDGE2	1	1978	WDGE2 LED P1 40K 80CRI W/ MOUNT SPA DODD	

LIGHTOLIER by Signify

Downlighting

Calculate LED 6" gen 3

CBROL Round Downlight

Introduction

Calculate LED 6" generation 3 provides excellent performance coupled with optimized installation flexibility and options. Industry leading round control and uniform beam spread make it an ideal choice for open office, institution, healthcare, and retail applications.

Key Features

- 6" Round Downlight
- 4000K CCT
- 80 CRI
- 150lm/W
- 50,000 Hours

HUNZA NPS Spot

PURELED SPECIFICATIONS

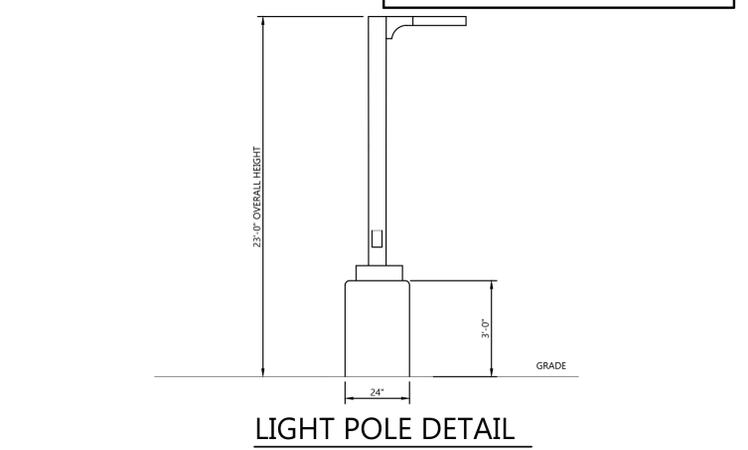
Call No. NPS16

Product Configuration

Call No. NPS16

Accessories

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- NPS16-18
- NPS16-20
- NPS16-24
- NPS16-30
- NPS16-36
- NPS16-42
- NPS16-48
- NPS16-54
- NPS16-60
- NPS16-66
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- NPS16-90
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- NPS16-282
- NPS16-288
- NPS16-294
- NPS16-300



Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
FRONT PARKING & DRIVE	X	2.1 fc	3.6 fc	0.2 fc	18.0:1	10.5:1
OVERHANG	X	11.9 fc	13.0 fc	9.3 fc	1.4:1	1.3:1
BACK PARKING AREA	X	2.1 fc	13.0 fc	0.3 fc	43.3:1	7.0:1

Schedule

Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
□	L14	6	Lithonia Lighting	DSX2 LED P1 40K 80CRI TMM	D-Series Size 2 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 2 Medium	1	15605	0.9	134.5029
□	L12	1	Lithonia Lighting	DSX2 LED P1 40K 80CRI TMM	D-Series Size 2 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 2 Medium	1	17668	0.9	134.5
□	WP1	2	Lithonia Lighting	WDGE2 LED P2 40K 80CRI VF	WDGE2 LED WITH P2 - PERFORMANCE PACKAGE 4000K 80CRI VISUAL COMFORT FORWARD OPTIC	1	1978	0.9	15.0178
○	C17	19	SIGNIFY LIGHTOLIER	C8RN+CB1583M210U+CBROLCL	CALCULITE 6" ROUND LED DOWNLIGHT CLEAR FINISH	1	1483	0.9	12.6
⦿	SP1	9	HUNZA	NPS-S-25-4	NPS SPOT - PURE LED - SERIES WIRED 1050MA - IP66 - 4000K - 25 DEG - REMOTE DRIVER REQUIRED	1	573	1	6.3



SITE PLAN - PHOTOMETRIC
SCALE 1" = 20"
SITE PLAN PHOTOMETRIC

EXCEL

Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED OFFICES, SHOWROOM, AND WAREHOUSE FOR:
KTFM, LLC
21055 CROSSROADS CIRCLE • TOWN OF BROOKFIELD, WI 53186

PROFESSIONAL SEAL

PRELIMINARY DATES
APR. 19, 2023
MAY 22, 2023

NOT FOR CONSTRUCTION

JOB NUMBER
230030600

SHEET NUMBER
C3.0



Strand Associates, Inc.®
910 West Wingra Drive
Madison, WI 53715
(P) 608.251.4843
www.strand.com

June 1, 2023

Mr. Bryce Hembrook
Town of Brookfield
645 North Janacek Road
Brookfield, WI 53045

Re: Quest Interiors Development
21055 Crossroads Circle
Town of Brookfield, Wisconsin (Town)

Dear Bryce,

Strand Associates, Inc.® (Strand) has finished its review of the construction drawings and Storm Water & Erosion Control Calculations resubmittal for the Quest Interiors Development that were received from Excel Engineering, Inc. (Excel) on May 22, 2023, for conformance with the Town specifications and general engineering practices. Before construction may begin, the contractor shall submit all required permits for the development to the state, Wisconsin Department of Natural Resources, Town, and any other relevant agencies. New drawings, stormwater management plan and calculations, and a letter describing the revisions should be returned to Strand after the following concerns have been addressed. Excel's responses to Strand's original comments are *italicized* and Strand's most recent comments are in **bold**.

Stormwater Management Plan

1. Strand's May 3, 2023, Comment—The time of concentration calculation for the pre-development basin has a sheet flow length of 178 feet. Standard engineering protocol is to use a maximum sheet flow length of 100 feet.

Excel's May 22, 2023, Response—The modeling and stormwater management report has been revised to reflect this.

Strand's Current Response—It was verified that the sheet flow length for the pre-development basin was modified to 100 feet. It appears that the sheet flow length for the "Post 1A" subbasin is 126 feet and still greater than 100 feet.

2. Strand's May 3, 2023, Comment—The time of concentration values appear to be directly entered into the HydroCAD model for the proposed 1A (2S) and 1B (3S) drainage areas. These time of concentration calculations should be provided. Also, the time of concentration paths should be shown on the Post-Development Basin Area exhibit in Appendix B.

Excel's May 22, 2023, Response—Flow paths have been added to the post development plan. Calculation input for Basin 1A has been revised. Basin 1B has been revised to 6-minute and remains as a direct input given its small area and proximity to boundaries while maintaining the engineering practice of 6-minute minimum time of concentration.

Strand's Current Response—It was verified that the flow paths were added to the post-development plan. As noted above, it appears that the sheet flow length for the "Post 1A" subbasin is 126 feet and still greater than 100 feet.

Mr. Bryce Hembrook
Town of Brookfield
Page 2
June 1, 2023

3. Strand's May 3, 2023, Comment—Within the WinSLAMM input information in Appendix F, the total area draining to the pond (2S) is listed as 2.147 acres. The HydroCAD model notes that the drainage area into the proposed pond is 2.54 acres. Clarification should be given and/or modeling updated accordingly.

Excel's May 22, 2023, Response—The WinSLAMM calculations are updated to include the additional landscape area.

Strand's Current Response—It was verified that the area (2.54 acres) draining to the pond now matches in both the HydroCAD and WinSLAMM modeling calculations.

4. Strand's May 3, 2023, Comment—A stormwater maintenance agreement should be established between the owner and Town.

Excel's May 22, 2023, Response—A draft maintenance agreement is provided for review.

Strand's Current Response—The draft maintenance agreement was reviewed and appears to meet the Town's requirements and match the standard template. The Town Attorney shall review before final approval.

Stormwater Conveyance

Strand's May 3, 2023, Comment—Storm sewer sizing and inlet capacity calculations should be provided for the proposed storm sewers.

Excel's May 22, 2023, Response—Storm sewer calculations have been added to the stormwater report.

Strand's Current Response—The storm sewer calculations located in Appendix G of the stormwater report were reviewed. The calculations for the total flow of each drainage basin should be provided showing the weighted runoff coefficient uses as well as intensity for the design storm event.

Civil Existing Site and Demolition Plan—Sheet C1.0

Strand's May 3, 2023, Comment—Specifications or a detail should be provided describing or showing how the storm sewer pipe will be plugged.

Excel's May 22, 2023, Response—Call out note on C1.0 has been revised to provide more directive on plug.

Strand's Current Response—The revised note was reviewed and is acceptable.

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Civil Site Plan–Sheet C1.1

1. Strand’s May 3, 2023, Comment–According to 17.06(3)(c)(4) in the Town ordinance, the minimum dimensions for all parking spaces provided for use by physically disabled shall be 12 feet by 18 feet. It appears that these stalls are 9 feet by 18 feet.

Excel’s May 22, 2023, Response–The plans shows (2) two 9-foot by 18-foot stalls with a shared 9-foot van accessible aisle. Taking 4.5-feet of the shared stall plus the 9-foot stall provides a 13.5-foot area meeting the code requirements. This will also be discussed at the PC meeting.

Strand’s Current Response–Based on the width of the accessible route, there appears to be adequate space for parking and access and would be able to accommodate cars and vans.

2. Strand’s May 3, 2023, Comment–There is a callout for a Keynote 27 in the plan, but there is no description for “27” in the Keynote legend.

Excel’s May 22, 2023, Response–This keynote has been removed from the plan.

Strand’s Current Response–It was verified the keynote was removed.

3. Strand’s May 3, 2023, Comment–A turning movement exhibit should be provided to verify the largest vehicle (including any emergency vehicles) that will access the site can perform the required turning movements with the proposed layout.

Excel’s May 22, 2023, Response–A truck turning exhibit is included in the resubmittal.

Strand’s Current Response–A turning template was provided for a WB-67 interstate semi-trailer and it appears it will be able to access the southern portion of the site and back into the loading dock area. The Town Fire Department should verify whether emergency vehicles, such as a fire truck, should be evaluated for access in the eastern parking lot or northern driveway.

Civil Grading and Erosion Control Plan–Sheet C1.2

1. Strand’s May 3, 2023, Comment–The anticipated locations of the topsoil stockpiles should be shown on the plan.

Excel’s May 22, 2023, Response–Topsoil stockpile locations have been added to plan sheet C1.2.

Strand’s Current Response–It was verified topsoil stockpile locations are shown on Sheet C1.2 and are in upland areas with two layers of silt fence around the perimeter.

2. Strand’s May 3, 2023, Comment–Silt fence should be provided between the two driveway entrances just upstream of the curb line to prevent sediment from washing on to Crossroads Circle.

Excel’s May 22, 2023, Response–This has been added to plan sheet C1.2.

Strand’s Current Response–It was verified silt fence was added at this location.

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3. Strand's May 3, 2023, Comment—Safety railings should be provided where the top of wall elevation is more than 30 inches above the adjacent grade according to Section 1013.1 of the Unified Building Code. The top of the retaining wall on the west side of the loading dock ramp. There is a drop of approximately 4 feet from top of the retaining wall on the west side of the loading dock ramp to the bottom of ramp near the building.

Excel's May 22, 2023, Response—The architectural plans will cover this scope and requirement.

Strand's Current Response—The architectural committee should review the plans to verify requirements are met.

4. Strand's May 3, 2023, Comment—The scale bar appears to be incorrect.

Excel's May 22, 2023, Response—This has been rectified.

Strand's Current Response—Confirmed.

Civil Utility Plan—Sheet C1.3

1. Strand's May 3, 2023, Comment—The callout for the rim elevation of CB-1 (901.12) does not match the callout for the rim elevation shown in the Bay Loading Dock Detail (900.90).

Excel's May 22, 2023, Response—The rim elevation on C1.3 for ST CB 1 has been revised to match the detail.

Strand's Current Response—It was confirmed that elevations now match on both sheets.

2. Strand's May 3, 2023, Comment—Evaluate that proper separation between water, storm, and sanitary sewer mains are meeting the requirements of Section NR 811.74 of the Wisconsin Administrative Code (WAC).

Excel's May 22, 2023, Response—A minimum separations are maintained throughout the design.

Strand's Current Response—It appears the proper separation distance between water and storm crossings are maintained.

3. Strand's May 3, 2023, Comment—The storm sewer structure and casting types should be called out on the plan.

Excel's May 22, 2023, Response—Abbreviation designations are on the plan sheet to correspond to detail on C2.1.

Strand's Current Response—It was verified casting types are called out for each structure.

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4. Strand's May 3, 2023, Comment—Review that all water main design meets the requirements of Section NR 811.70 of WAC and Section 12 of the Town Sanitary District No. 4 technical specifications (see Sections 12.1—Water Main Material, 12.2—Valve Type, 12.3—Pipe Cover and length requirements, 12.5—Thrust Restraint, and 12.18—Fire Hydrant Type). Supporting documentation should be provided.

Excel Response: Design requirements are met and notes and details have been added to the plans.

Strand's Current Response—It was verified notes and details were added to the construction drawings.

5. Strand's May 3, 2023, Comment—It should be noted that, before water utility construction can begin, a modification to the water service application will need to be submitted to the Town and, if plumbing fixtures are being added, calculations should be provided for proper meter sizing.

Excel's May 22, 2023, Response—This note has been included on plan sheet C1.3.

Strand's Current Response—It was verified that the note was added to Sheet C1.3.

6. Strand's May 3, 2023, Comment—A note should be added stating that the contractor shall notify the Town Sanitary District No. 4 and field staff a minimum of 72 hours before the start of any construction or connection to existing public utilities.

Excel's May 22, 2023, Response—This note has been included on plan sheet C1.3.

Strand's Current Response—It was verified that the note was added to Sheet C1.3.

7. Strand's May 3, 2023, Comment—The existing sanitary sewer is not shown correctly on the west side of the property where the proposed sanitary service connection to the main is taking place. The sewer main is entering the manhole from the west and then heads south. There is no sewer line running north of this manhole (see enclosed markup). This will require a modification of the proposed sewer service connection to the main.

Excel's May 22, 2023, Response—The sanitary lateral location has been modified based on this information.

Strand's Current Response—The existing sanitary sewer line north of the manhole is still shown. This does not exist and should be removed. It should be verified that the proposed 4-inch-diameter lateral has adequate capacity to handle proposed loadings.

8. Strand's May 3, 2023, Comment—A 6-inch water valve should be added to the proposed water service (see enclosed markup).

Excel's May 22, 2023, Response—The water service location has been revised and a valve has been added to plans.

Strand's Current Response—It appears that the fire hydrant and valve will be located behind a masonry wall and near an electrical transformer. It should be verified there is enough room for access by the fire department and Town Sanitary District No. 4 for emergency situations and maintenance.

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9. Strand's May 3, 2023, Comment—The proposed water main tapping location is near an existing water service connection. A note should be added stating the required distance from the existing connection.

Excel's May 22, 2023, Response—The connection note on plan sheet C1.3 has been revised to reflect this.

Strand's Current Response—It was verified that a note was added regarding maintaining the minimum separation distance from the existing connection.

10. Strand's May 3, 2023, Comment—The scale bar appears to be incorrect.

Excel's May 22, 2023, Response—This has been rectified.

Strand's Current Response—Confirmed.

Civil Landscape and Restoration Plan—Sheet C1.4

1. Strand's May 3, 2023, Comment—Please denote intended tree protection or woodland area protection provided on-site.

Excel's May 22, 2023, Response—Plan notes are on C1.0 and C1.4 to provide intent of preservation of wooded area.

Strand's Current Response—Notes were reviewed and are adequate.

2. Landscaping Planting Schedule Comments

- a. Strand's May 3, 2023, Comment—According to plant symbols and the plant data chart, selected species appear appropriate. A full comparison of plan quantities as laid-out versus in the planting table was not completed. It may be appropriate for plant callout leaders for use in the field or for final reviews. Planting densities, arrangement, and selection appear appropriate. See notes.

Excel's May 22, 2023, Response—This comment is acknowledged.

Strand's Current Response—No further comment.

- b. Strand's May 3, 2023, Comment—Varieties of flowering pear (*Pyrus calleryana*) are regarded as potentially invasive. If acceptable, please explore potential replacements such as suitable varieties of flowering crabapple (*Malus* species) or redbud (*Cercis canadensis*).

Excel's May 22, 2023, Response—The Jack pear species has been substituted with a flowering crabapple.

Strand's Current Response—The replacement species appears to be adequate.

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- c. Strand's May 3, 2023, Comment—Deciduous shrub “Planted Size” below 18 inches does not meet code. Please remove 15-inch reference for deciduous shrubs.

Excel's May 22, 2023, Response—Planting size of shrubs have been revised to a minimum of 18-inches.

Strand's Current Response—It was confirmed that the planting size of shrubs was revised to a minimum of 18 inches.

- d. Strand's May 3, 2023, Comment—Similarly, arborvitae “Planted Size” should be corrected to the 6-foot requirement, in accordance with code.

Excel's May 22, 2023, Response—The planted size of Arborvitae species has been modified to 6-feet.

Strand's Current Response—It was confirmed that the planted size of Arborvitae species has been modified to 6 feet.

- e. Strand's May 3, 2023, Comment—Please revise Botanical Name (genus) for Karl Forester Reed Grass as “Calamagrostis.”

Excel's May 22, 2023, Response—The Botanical name is shown as Calamagrostis.

Strand's Current Response—It was confirmed that the botanical name spelling is now correct.

3. Strand's May 3, 2023, Comment—Long-term light pole interference—The seeded lawn area between the parking lot and Crossroads Circle (and some other project areas) contain light poles with large deciduous tree plantings (basswood and honeylocust) within 10 to 12 feet of the poles. Please evaluate spacing arrangements or evaluate the use of smaller trees as needed.

Excel's May 22, 2023, Response—Adjustments have been made to the tree count and location to address spacing.

Strand's Current Response—The tree count and revised tree locations appear to be adequate.

4. Strand's May 3, 2023, Comment—Because of proximities within 12 feet of the Crossroads Circle road surface, please review planting beds that are present north and south of site access drives to confirm that they are appropriately resistant or distant to potential salt spray and other effects of the roadway and associated ditch.

Excel's May 22, 2023, Response—Based on the separation of both distance and elevation from the roadway the plantings should be protected from deterioration.

Strand's Current Response—Confirmed and understood.

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5. Strand's May 3, 2023, Comment—To potentially avoid installation “settling” of plantings, burial of root collars, and potential survivability issues; please consider additions to the Tree Planting and Shrub Planting Details. This may involve altering the figure or potentially calling out plants to be “set” in the planting hole on a rigid substrate and similarly denoting the location of the root collar relative to planting and mulch placement.

Excel's May 22, 2023, Response—Adjustment to details and additional notes are included to addresses settling.

Strand's Current Response—The root collar note is acknowledged and suitable. It is suggested that both the tree and shrub planting detail denote an undisturbed planting mound directly under the plant and a callout leader added such as “ Retain a portion of undisturbed subgrade to support plant weight and avoid plant settling.”

6. Strand's May 3, 2023, Comment—The scale bar appears to be incorrect.

Excel's May 22, 2023, Response—This has been rectified.

Strand's Current Response—Confirmed.

Civil Details—Sheet C2.1

1. Strand's May 3, 2023, Comment—The Wet Retention Pond Detail should include the 2.5-foot rise dimension for the sharp-crested vee weir that is modeled in HydroCAD.

Excel's May 22, 2023, Response—A rim elevation was added to the V-Notch Weir detail.

Strand's Current Response—It was confirmed a rim elevation was added to the detail.

2. Strand's May 3, 2023, Comment—The Wet Retention Pond detail notes a 2-foot sump in the callout for the pyramid trash rack on top of the outlet structure which does not match the callout for a 4-foot sump dimension noted on the bottom of the structure. Detail should be updated accordingly.

Excel's May 22, 2023, Response—This has been rectified.

Strand's Current Response—It was confirmed that the 2-foot sump callout was removed.

3. Strand's May 3, 2023, Comment—The Wet Retention Pond Detail contains callouts for the “2 Year Storm Elev.”. This elevation should be provided on the detail so the contractor knows the exact elevation to install the erosion control fence and pond clay liner.

Excel's May 22, 2023, Response—A note has been added to the detail to provide elevations for design storm events.

Strand's Current Response—It was confirmed that the design storm elevations were added to the detail.

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Site Lighting Plan

Strand's May 3, 2023, Comment—The light level at the property line shall not exceed 0.2 foot-candles at any point. Revise light pole locations or add shielding to reduce light levels at the southern property line to 0.2 foot-candles or lower.

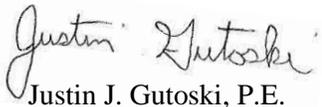
Excel's May 22, 2023, Response—The C3.1 plan sheet has been revised to meet the requirements.

Strand's Current Response—The lighting plan was reviewed and confirmed that the light candles do not exceed 0.2 foot-candles along the southern property line.

Further comments will be provided at the time of future submittals. Please call 608-251-4843 if you have any questions.

Sincerely,

STRAND ASSOCIATES, INC.®


Justin J. Gutoski, P.E.

c: Tom Hagie, P.E. Town Administrator, Town of Brookfield
Tony Skof, Sanitary District No. 4 Superintendent, Town of Brookfield
Scott Hartung, Department of Public Works Superintendent, Town of Brookfield

ORDINANCE AMENDING, OR REPEALING AND RECREATING, CERTAIN PROVISIONS IN CHAPTER 17 OF THE MUNICIPAL CODE OF THE TOWN OF BROOKFIELD

NOW THEREFORE, the Town Board of the Town of Brookfield, Wisconsin does ordain as follows:

SECTION 1: The following provision of Section 17.01 of the Town Code is hereby stricken and removed from the Town Code:

DAY-CARE CENTER

An establishment providing care and supervision for four or more persons under the age of seven, licensed by the state under § 48.65, Wis. Stats.

SECTION 2: The following provision of Section 17.01 of the Town Code is hereby repealed and recreated to read as follows:

FAMILY CHILD CARE HOME

A dwelling licensed as a child care center by the state under §§ 48.65 and 66.1017, Wis. Stats., where care is provided for not more than eight children.

SECTION 3: Section 17.01 of the Town Code shall be amended to include the following provision:

COMMERCIAL DAYCARE CENTER

A child care center licensed by the state under § 48.65, Wis. Stats., where care and supervision is provided for four or more children under the age of seven for less than 24 hours a day, or an adult day care center licensed by the state under § 49.45(47), Wis. Stats., that provides services for part of a day in a group setting to adults who need an enriched health-supportive or social experience and who may need assistance with activities of daily living, supervision or protection. A family child care home is not a commercial daycare center.

SECTION 4: The following provision of Section 17.01 of the Town Code is hereby repealed and recreated to read as follows:

COMMUNITY LIVING ARRANGEMENT

The following facilities licensed and operated or permitted under the authority of the Wisconsin Statutes: child welfare agencies under § 48.60, group foster homes for children under § 48.02(7), and, adult family homes and community-based residential facilities under § 50.033; but does not include commercial daycare centers, nursing homes, general hospitals, special hospitals, prisons or jails. The establishment of community living arrangements is governed by §§ 46.03(22), 59.69(15), 60.23, and 62.63(7)(i), Wis. Stats.

SECTION 5: “Family day care homes” in Sections 17.04(4)(a)4., 17.04(5)(a)4., 17.04(6)(a)4., 17.04(7)(a)4., 17.04(8)(a)4., 17.04(9)(a)4., 17.04(10)(a)4. of the Town Code shall be stricken and replaced with “Family child care homes”.

SECTION 6: “Commercial day-care centers” in Section 17.04(12)(a) of the Town Code shall be stricken and removed from the Town Code.

SECTION 7: Section 17.06(3)(h)6.h.iii. of the Town Code is hereby repealed and recreated to read as follows:

Children's nursery schools and commercial daycare centers: one space per employee for the work shift with the greatest number of employees, plus one space per six students at the highest class attendance period.

SECTION 8: Section 17.02(14)(b)4.i. of the Town Code is hereby repealed and recreated to read as follows: “Commercial daycare centers in B-2 Limited General Business District and B-3 Office and Professional Districts.”.

SECTION 9: Except as expressly provided by this Ordinance, all other provisions contained in the Town Code shall remain in full force and effect.

SECTION 10: All ordinances or parts of this Ordinance conflicting or contravening the provisions of this Ordinance are hereby repealed.

SECTION 11: This Ordinance shall take effect upon passage and posting or publication as provided by law.

PASSED AND ADOPTED by the Town Board of the Town of Brookfield, Waukesha County, Wisconsin this _____, day of _____, 2023.

By: _____
Keith Henderson, Chairman

By: _____
Steve Kohlmann, Supervisor

By: _____
John Charlier, Supervisor

By: _____
John R. Schatzman, Supervisor

By: _____
Ryan Stanelle, Supervisor

Attest: _____
Tom Hagie,
Administrator and Interim Clerk

(9) Definitions.

- (a) General definitions. For the purposes of this chapter, certain words or phrases shall have meanings that either vary somewhat from their customary dictionary meanings or are intended to be interpreted to have a specific meaning. Words used in the present tense include the future. The word "person" includes a firm, association, partnership, trust, company or corporation as well as an individual. The word "he" includes the word "she." The word "shall" is mandatory, "should" is advisory, and "may" is permissive. Any words not defined in this section shall be presumed to have their customary dictionary definitions.
- (b) Specific words and phrases. The following terms shall have the meanings indicated: ...

COMMERCIAL DAYCARE CENTER

A child care center licensed by the state under § 48.65, Wis. Stats., where care and supervision is provided for four or more children under the age of seven for less than 24 hours a day, or an adult day care center licensed by the state under § 49.45(47), Wis. Stats., that provides services for part of a day in a group setting to adults who need an enriched health-supportive or social experience and who may need assistance with activities of daily living, supervision or protection. A family child care home is not a commercial daycare center.

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COMMUNITY LIVING ARRANGEMENT

The following facilities licensed and operated or permitted under the authority of the Wisconsin Statutes: child welfare agencies under § 48.60, group foster homes for children under § 48.02(7), and, adult family homes and community-based residential facilities under § 50.033; but does not include commercial day-care centers, nursing homes, general hospitals, special hospitals, prisons or jails. The establishment of community living arrangements is governed by §§ 46.03(22), 59.69(15), 60.23, and 62.63(7)(i), Wis. Stats.

DAY CARE CENTER

~~An establishment providing care and supervision for four or more persons under the age of seven, licensed by the state under § 48.65, Wis. Stats.~~

FAMILY ~~CHILD~~ DAY CARE HOME

A dwelling licensed as a ~~child day~~ care center by the state under § 48.65 and 66.1017, Wis. Stats., where care is provided for ~~not~~ more than eight children.

§ 17.02 **General provisions.**

(14) Use restrictions. The following use restrictions and regulations shall apply:

- (b) Conditional uses.
4. Business uses. The following commercial uses shall be conditional uses and may be permitted as specified:
- a. Automotive, marine, and aircraft sales, service, repair, and storage facilities in the B-2 Business District, provided that there shall be not more than two automotive facilities or two marine facilities or two aircraft facilities in a one-mile radius.
- b. Drive-in theaters in the B-2 Business District, provided that a planting screen at least 25 feet wide is created along any side abutting a residential district and no access is permitted to or within 1,000 feet of an arterial street.
- c. Drive-in banks in the B-1, B-2 and B-3 Business Districts.
- d. Drive-through and fast-food restaurants in the B-2 Business District. **[Amended 5-17-2016]**

- e. Funeral homes in any business district and the I-1 Institutional District, provided all principal structures and uses are not less than 25 feet from any lot line.
- f. Gasoline service stations and car washes in the B-1 and B-2 Business Districts, provided that all service islands, pumps, and structural supports for canopies shall meet the setback and yard requirements of the district, and further provided that there shall be not more than two such facilities in a one-mile radius.
- g. Transmitting towers, receiving towers, relay and microwave towers in the B-2 Business and I-1 Institutional Districts.
- h. Broadcast studios in the I-1 Institutional District.
- i. ~~Commercial daycare centers~~Adult day care facilities in B-2 Limited General Business District and B-3 Office and Professional Districts. ~~[Added 9-5-2017]~~

§ 17.04 **Zoning districts.**

- (4) Rs-1 Single-Family Residential District. The Rs-1 Residential District is intended to provide for single-family residential development at densities not to exceed 1.1 dwelling units per net acre.
 - (a) Permitted uses.
 - 1. Single-family dwellings.
 - 2. Community living arrangements which have a capacity for eight or fewer persons, and which are located not less than 2,500 feet from the location of another community living arrangement, subject to the limitations and conditions set forth in Wis. Stat. § 60.63. **[Amended 5-17-2016]**
 - 3. Foster family homes.
 - 4. Family ~~childday~~ care homes.
 - 5. Essential services.
- (5) Rs-2 Single-Family Residential District. The Rs-2 Residential District is intended to provide for single-family residential development at densities not to exceed 1.5 dwelling units per net acre.
 - (a) Permitted uses.
 - 1. Single-family dwellings.
 - 2. Community living arrangements which have a capacity for eight or fewer persons, subject to the limitations in § 60.63, Wis. Stats.
 - 3. Foster family homes.
 - 4. Family ~~childday~~ care homes.
 - 5. Essential services.
- (6) Rs-3 Single-Family Residential District. The Rs-3 Residential District is intended to provide for single-family residential development at densities not to exceed 2.2 dwelling units per net acre.
 - (a) Permitted uses.
 - 1. Single-family dwellings.

2. Community living arrangements which have a capacity for eight or fewer persons, subject to the limitations in 60.63, Wis. Stats.
 3. Foster family homes.
 4. Family childday care homes.
 5. Essential services.
- (7) Rs-4 Single-Family Residential District. The Rs-4 Residential District is intended to provide for single-family residential development at densities not to exceed 2.9 dwelling units per net acre, served by centralized sewer and water facilities.
- (a) Permitted uses.
1. Single-family dwellings.
 2. Community living arrangements which have a capacity for eight or fewer persons, subject to the limitations in § 60.63, Wis. Stats.
 3. Foster family homes.
 4. Family childday care homes.
 5. Essential services.
- (8) Rd-1 Two-Family Residential District. The Rd-1 Residential District is intended to provide for two-family residential development at densities not exceeding 4.4 dwelling units per net acre, served by municipal sewer and water facilities.
- (a) Permitted uses.
1. Two-family dwellings.
 2. Community living arrangements which have a capacity for eight or fewer persons, subject to the limitations in § 60.63, Wis. Stats.
 3. Foster family homes.
 4. Family childday care homes.
 5. Essential services.
- (9) Rm-1 Multifamily Residential District. The Rm-1 Residential District is intended to provide for multifamily residential development at densities not exceeding 4.4 dwelling units per net acre, served by municipal sewer and water facilities.
- (a) Permitted uses.
1. Two-family and multifamily dwellings. Multifamily residential structures shall not exceed eight dwelling units per structure.
 2. Community living arrangements which have a capacity for 15 or fewer persons, subject to the limitations in § 60.63, Wis. Stats.
 3. Foster family homes.

4. Family ~~childday~~ care homes.

5. Essential services.

(10) Rm-2 Multifamily Residential District. The Rm-2 Residential District is intended to provide for multifamily residential development at densities not exceeding 7.3 dwelling units per net acre. The Rm-2 Residential District is intended for use in more intensely developed areas, particularly in areas adjacent to business and manufacturing areas. It is not intended that the Rm-2 Residential District be located directly adjacent to single-family residential development in the Town. All Rm-2 residential developments should be served by municipal sewer and water facilities.

(a) Permitted uses.

1. Two-family and multifamily dwellings. Multifamily residential structures shall not exceed eight dwelling units per structure.

2. Community living arrangements which have a capacity for 15 or fewer persons, subject to the limitations in § 60.63, Wis. Stats.

3. Foster family homes.

4. Family ~~childday~~ care homes.

5. Essential services.

(12) B-2 Limited General Business District. The B-2 Limited General Business District is intended to provide for the orderly and attractive grouping at appropriate locations of businesses offering a wider range of retail products and services than are provided in neighborhood business districts. Many such businesses are related to and dependent upon highway traffic or are specifically designed to serve the need of such traffic.

(a) Permitted uses. **[Amended 12-7-2004]**

- Antique and collector's stores
- Appliance stores
- Art shops
- Bakeries
- Banks, savings and loan and other financial institutions; including drive-in facilities
- Barbershops
- Beauty shops
- Book or stationery stores
- Building supply stores, excluding lumber yards
- Business offices

- Camera and photographic supply stores
- Clinics
- Clothing stores
- Communication offices or exchanges
- ~~Commercial day care centers~~
- Confectioneries and ice cream stores
- Convenience food store
- Delicatessens
- Department stores
- Drugstores
- Dry cleaning and dyeing establishments
- Electronic equipment sales, service, and repair
- Equipment rental facilities
- Fish markets
- Florist shops
- Fruit and vegetable markets
- Funeral homes
- Furniture stores
- Garden centers
- Gift shops
- Grocery and other food products stores
- Hardware stores
- Hobby shops
- Hotels and motels
- Indoor tennis and racquetball courts and physical fitness centers
- Insurance sales offices

- Interior decorators
- Jewelry stores
- Meat markets
- Music and radio stores
- Notion and variety stores
- Optical stores
- Packaged beverage stores
- Pharmacies
- Photography and art studios
- Printing and publishing houses
- Professional offices
- Radio and television broadcast studios, not including transmission towers
- Real estate sales offices
- Restaurants, not including drive-through or fast-food restaurants
- Self-service laundries
- Shoe stores
- Soda fountains
- Sporting goods stores
- Super markets
- Tailoring or dressmaking shops
- Tobacco stores
- Videotape sales and rental

§ 17.06 Traffic, loading, parking and access.

- (3) Parking requirements. In all districts, in connection with every use, there shall be provided at the time any use is erected, enlarged, extended or increased, off-street parking stalls for all vehicles in accordance with the following:
- (h) The following guide specifies the minimum number of parking spaces required. In the case of structures or uses not specified herein, the number of spaces specified as the general standard for the use class or number of spaces specified for similar use shall apply. In developments involving the establishment or

addition of two or more uses on one lot or parcel, the cumulative number of spaces required for each use shall determine the total number of spaces required.

6. Institutional and related uses.
 - a. Churches: one space per three seats based on the maximum capacity of the facility.
 - b. Libraries: one space per 250 square feet of gross floor area or one space per four seats based on maximum capacity, whichever is greater, plus one space per employee for the work shift with the greatest number of employees.
 - c. Museums: one space per 250 square feet of gross floor area, plus one space per employee for the work shift with the greatest number of employees.
 - d. Rooming houses and boardinghouses, fraternity and sorority houses, dormitories, and rectories: one space per bed.
 - e. Convents and monasteries: one space per three residents, plus one space per employee for the work shift with the largest number of employees, plus one space per five chapel seats if the public may attend.
 - f. Nursing homes: one space per three patient beds, plus one space per employee for the work shift with the largest number of employees.
 - g. Hospitals: two spaces per three patient beds, plus one space per staff doctor, plus one space per employee, excluding doctors, for the work shift with the largest number of employees.
 - h. Schools:
 - i. Elementary, middle and high schools: one space for each teacher and staff member, plus one space for each 10 students 16 years of age or older.
 - ii. Colleges, universities, and trade schools: one space for each teacher and staff member, plus one space for each two students during the highest attendance period.
 - iii. Children's nursery schools and commercial day-care centers: one space per employee for the work shift with the greatest number of employees, plus one space per six students at the highest class attendance period.

Ord. No.: _____

**ORDINANCE REPEALING AND RECREATING SECTION 17.02(14)(g)11. OF THE
MUNICIPAL CODE OF THE TOWN OF BROOKFIELD**

NOW THEREFORE, the Town Board of the Town of Brookfield, Wisconsin does ordain
as follows:

SECTION 1: Section 17.02(14)(g)11. of the Town Code is hereby repealed and recreated
to read as follows:

11. Fences. Fences may be permitted as an accessory use in any district upon issuance of a permit and compliance with the requirements in this section. All fences shall be constructed in such a manner that the "finished" side faces the neighboring property and the fence posts are on the side of the fence facing the subject property.

a. In residential districts, fences shall comply with the following requirements:

i. Open fences are permitted up to the lot line in the side and rear yards but shall not extend into the street yard or exceed a height of four feet. Unless approved by a conditional use permit, chain link and barbed wire fences are prohibited. Such prohibition includes chain link and barbed wire fences surrounding tennis courts, basketball courts, and other similar recreational areas.

ii. Solid fences are permitted up to the lot line in the side and rear yard but shall not extend into the street yard or exceed a height of six feet. Solid fences may be placed in the street yard of double frontage or corner lots if the fence is setback at least five feet from the street right-of-way, the side facing the street is attractively landscaped, and the zoning administrator determines that the fence's location and appearance is consistent with the surrounding neighborhood continuity standard.

iii. Prior to permit approval, any person proposing a fence that will be located within five feet of a lot line shall submit a plat of survey depicting the location of the proposed fence and stake the corners of the property.

b. In any district, ornamental fences are permitted up to the lot line in the side, rear, and street yard but shall not extend into the street right-of-way or exceed a height of three feet. Ornamental fences shall comply with the traffic visibility requirements set forth in § 17.06 of this chapter.

c. In any district except residential districts, chain link, barbed wire, or other security fencing is permitted up to the lot line in the side, rear, and street yard but shall not extend into the street right-of-way or exceed a height of ten feet. Any portion of such fencing located in the street yard

shall be an open fence as defined in § 17.01(9)(b) of this chapter. Barbed wire fences may include up to four strands of barbed wire on the top of the fence, provided that the barbed wire is at least eight feet above grade with the vertical supports for the barbed wire slanting inward away from the neighboring property line. Fences authorized by this section shall comply with the traffic visibility requirements set forth in § 17.06 of this chapter.

d. Reserved.

e. Except as otherwise permitted in this section, barbed wire, razor wire, corrugated metal, chicken wire, T-posts and U-posts, and electric fences are prohibited.

f. Exemptions from permit and permit standards. The following fences are exempt from the requirements of this section:

i. Temporary fencing used for the protection of excavation, construction sites, and individuals plants.

ii. Decorative fencing, fences encompassing a garden, pet kennels, and other similar fences provided that they are not located in the front yard, setback at least five feet from all property lines, and do not exceed a height of six feet.

iii. Invisible fences intended for pets.

g. All fences and posts shall be maintained in a structurally sound and attractive manner.

h. Any utility equipment located within a fence shall be safe and accessible. If the metering location becomes unsafe or inaccessible, the owner shall be required to remove the fence or have the utility equipment moved at the owner's expense.

i. Fence permits may be approved administratively by the zoning administrator. Any proposed fence that does not comply with this section shall be considered a conditional use under § 17.02(14) of this chapter.

SECTION 2: All other provisions of the Town Code shall remain in full force and effect.

SECTION 3: All ordinances or parts of this ordinance conflicting or contravening the provisions of this Ordinance are hereby repealed.

SECTION 4: This Ordinance shall take effect upon passage and posting or publication as provided by law.

PASSED AND ADOPTED by the Town Board of the Town of Brookfield, Waukesha County, Wisconsin this _____, day of _____, 2023.

BY: _____
KEITH HENDERSON, Chairman

BY: _____
STEVE KOHLMANN, Supervisor

BY: _____
JOHN CHARLIER, Supervisor

BY: _____
JOHN R. SCHATZMAN, Supervisor

BY: _____
RYAN STANELLE, Supervisor

ATTEST: _____
TOM HAGIE, Administrator and
Interim Clerk

Fences. Fences are a permitted accessory use in any district upon issuance of a permit and compliance with the requirements in this section. All fences shall be constructed in such a manner that the "finished" side faces the neighboring property and the fence posts are on the side of the fence facing the subject property. ~~and may be erected without a permit, provided that fences shall comply with the following requirements:~~

a. ~~Residential fences shall be constructed in such a manner that the "finished" side shall face the neighboring property. Fence posts shall be on the side of the fence facing the subject property. In residential districts, fences shall comply with the following requirements:-~~

i. ~~Open residential fences are permitted up to the lot line in the side and rear yards but shall not extend into the street yard of residential districts, but shall not~~ exceed a height of four feet. ~~Unless approved by a conditional use permit, chain link and barbed wire fences are prohibited. Such prohibition includes chain link and barbed wire fences surrounding tennis courts, basketball courts, and other similar recreational areas, and shall not extend into the street yard.~~

ii.

~~Solid residential fences, as defined in § 17.01(9)(b) of this chapter, are permitted up to the lot line in the side and rear yard but shall not extend into the street yard or exceed a height of six feet. Solid fences may be placed in the street yard of double frontage or corner lots if the fence is setback at least five feet from the street right-of-way, the side facing the street is attractively landscaped, and the zoning administrator determines that the fence's location and appearance is consistent with the surrounding neighborhood continuity standard. shall meet the offset requirements of the district. Fences shall not exceed six feet in height and shall be placed in the rear yard only.~~

iii. ~~Prior to permit approval, any person proposing a fence that will be located within five feet of a lot line shall submit a plat of survey depicting the location of the proposed fence and stake the corners of the property.~~

b. ~~In any district, ornamental fences, as defined in § 17.01(9)(b) of this chapter, are permitted up to the lot line in the side, rear, and in the street yard in any district, but shall not extend into the street right-of-way and shall not exceed a fence height of three feet. Ornamental fences shall comply with the traffic visibility requirements set forth in § 17.06 of this chapter.~~

c. ~~In any district except residential districts, chain link, barbed wire, or other security fences or screening fences are permitted up to the lot property lines in the side, rear, and street yard but shall not extend into the street right-of-way all districts except residential districts, but shall not exceed a height of 10 feet in total height and shall be "open fences" as defined in § 17.01(9)(b) of this chapter when located in the street yard. Any portion of such fencing located in the street yard shall be an open fence as defined in § 17.01(9)(b) of this chapter. Barbed wire security fences may include up to four strands of barbed wire on the top of the fence, provided that the barbed wire is at least eight feet above grade with the vertical supports for~~

the barbed wire slanting inward away from the neighboring property line. ~~Security and screening fences authorized by this section~~ shall comply with the traffic visibility requirements set forth in § 17.06 of this chapter. ~~Security fences shall be constructed in such a manner that the "finished" side shall face the neighboring property. Fence posts shall be on the side of the fence facing the permit applicant's property.~~

d. ~~Reserved. Solid, privacy fences, as described in § 17.01(9)(b) of this chapter, not exceeding six feet in height, may be placed in a street yard of double frontage or corner lots subject to approval by the Building Inspector or Architectural Review Committee. Approval shall be based upon a neighborhood continuity standard. Such fencing may be placed at a minimum five foot setback to a street right of way, providing the side facing the street is attractively landscaped.~~

e. ~~Except as otherwise permitted in this section, b~~Barbed wire, ~~razor wire, corrugated metal, chicken wire, T-posts and U-posts, fences and electric fences are prohibited in the Town of Brookfield.~~

f. Exemptions from permit and permit standards. The following fences are exempt from the requirements of this section:

i. Temporary fencing used for the protection of excavation, construction sites and individuals plants.

ii. Decorative fencing, fences encompassing a garden, pet kennels and other similar fences provided that they are not located in the front yard, setback a minimum of five feet from all property lines, and do not exceed a height of six feet.

iii. Invisible fences intended for pets.

g. All fences or posts shall be maintained in a structurally sound and attractive manner.

h. Any utility equipment located within a fence shall be safe and accessible. If the metering location becomes unsafe or inaccessible, the owner shall be required to remove the fence or have the utility equipment moved at the owner's expense.

if. Fence permits may be approved administratively by the zoning administrator. Any proposed fence that does which would not conform with this section above provisions shall be considered a conditional use under as described in § 17.02(14) of this chapter.

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