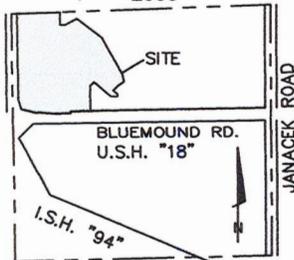


# CERTIFIED SURVEY MAP NO.

A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5433, LOT 1A AND LOT 2 OF CERTIFIED SURVEY MAP 4998, LOT 2 AND 3 OF CERTIFIED SURVEY MAP NO. 11512, OUTLOT 1 OF CERTIFIED SURVEY MAP 11798, PART OF PARCEL 2 OF CERTIFIED SURVEY MAP NO. 2974 AND LANDS, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## VICINITY MAP

1" = 2000'



## LEGEND

- INDICATES 1 INCH DIA. IRON PIPE, 18 INCHES IN LENGTH, WEIGHING 1.68 LBS PER LINEAL FOOT, SET.
- INDICATES 1" IRON PIPE FOUND UNLESS OTHERWISE NOTED.
- DENOTES NO VEHICULAR ACCESS TO S.T.H. 18 OR N. BARKER RD. (C.T.H. "Y")
- ↑--- DENOTES WETLAND LIMITS AND DIRECTION
- DENOTES APPROXIMATE PRIMARY ENVIRONMENTAL CORRIDOR
- ↑--- DENOTES 100-YEAR FLOOD PLAIN AND DIRECTION
- ↑--- DENOTES WAUKESHA COUNTY SHORELAND & FLOODLAND PROTECTION ORDINANCE JURISDICTIONAL LIMITS AND DIRECTION

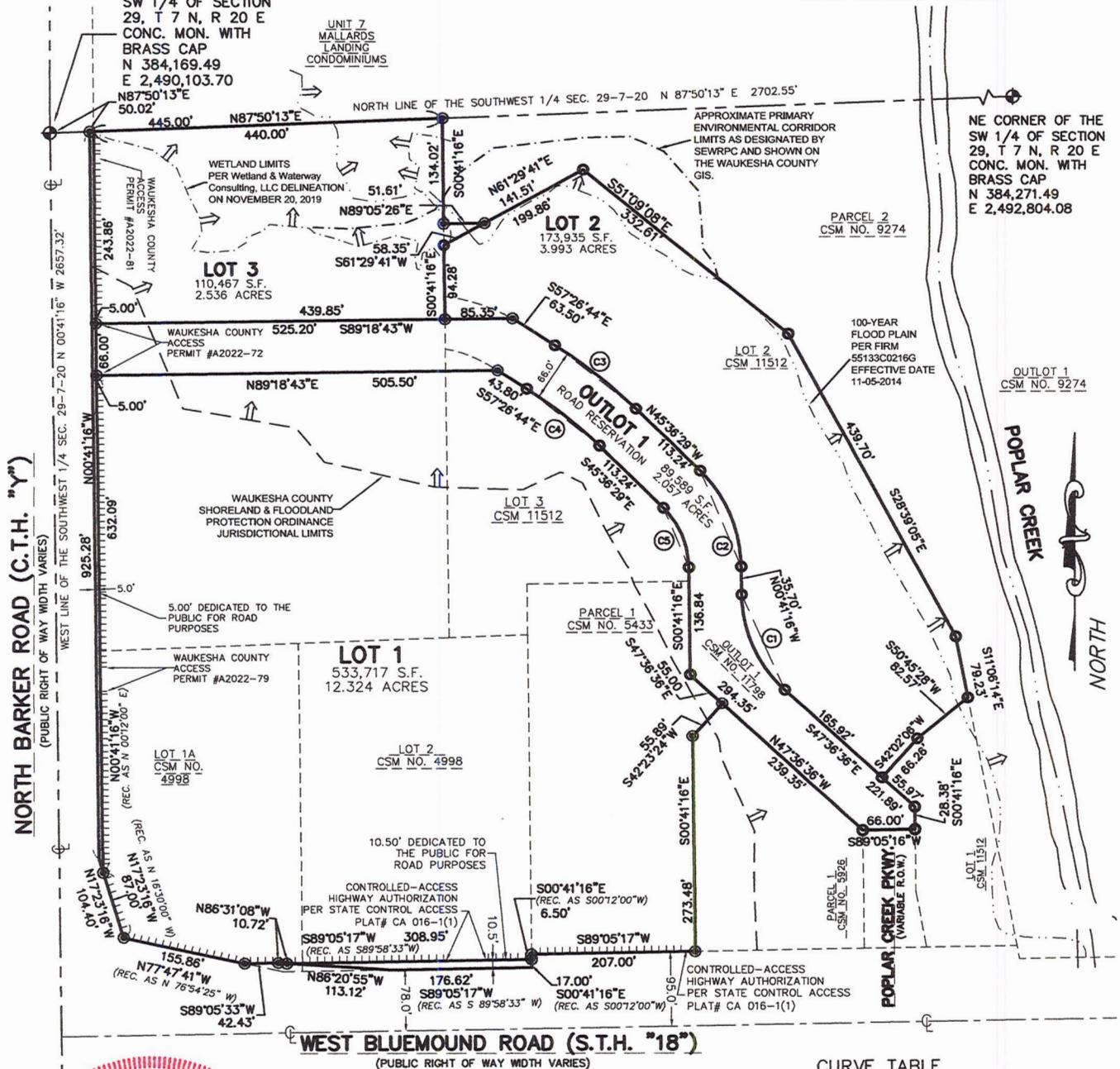


civil design and consulting  
9205 W. Center Street  
Suite 214  
Milwaukee, WI 53222  
PH. (414) 443-1312  
www.cj-engineering.com

PREPARED FOR:  
POPLAR CREEK CLUB, LLC  
20300 BLUEMOUND, LLC  
20290 BLUEMOUND, LLC  
20150 BLUEMOUND, LLC  
POPLAR CREEK CLUB II, LLC  
5300 S. 108TH STREET  
HALES CORNERS, WI 53130

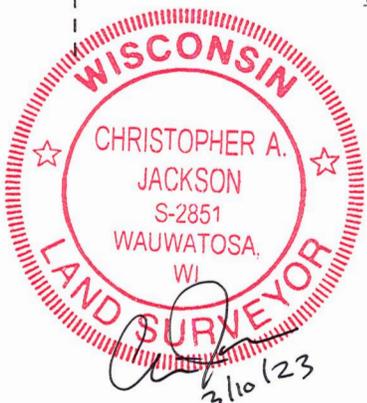
SW 1/4 SECTION  
29-07-20

NW CORNER OF THE  
SW 1/4 OF SECTION  
29, T 7 N, R 20 E  
CONC. MON. WITH  
BRASS CAP  
N 384,169.49  
E 2,490,103.70  
N87°50'13"E  
50.02'

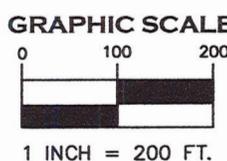


NORTH BARKER ROAD (C.T.H. "Y")  
(PUBLIC RIGHT OF WAY WIDTH VARIES)

WEST BLUEMOUND ROAD (S.T.H. "18")  
(PUBLIC RIGHT OF WAY WIDTH VARIES)



05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023



## CURVE TABLE

NO.	ARC	RADIUS	CHORD	CH. BEARING
C1	136.76'	167.00'	132.97'	N24°08'51"W
C2	135.63'	173.00'	132.19'	N23°08'52"W
C3	130.78'	633.00'	130.55'	N51°31'36"W
C4	117.14'	567.00'	116.94'	S51°31'36"E
C5	83.89'	107.00'	81.76'	S23°08'52"E

ALL BEARINGS REFER TO THE NORTH LINE OF THE SOUTH WEST 1/4 OF SECTION 29-07-20 WITH HAS A WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE) BEARING OF N 87°50'13" E.

THOSE AREAS WITHIN THE PRIMARY ENVIRONMENTAL CORRIDOR, WETLAND, OR 100-YEAR FLOODPLAIN ARE SUBJECT TO THE PRIMARY ENVIRONMENTAL CORRIDOR/WETLAND/FLOODPLAIN PRESERVATION RESTRICTIONS NOTED ON SHEET 9 OF 15.

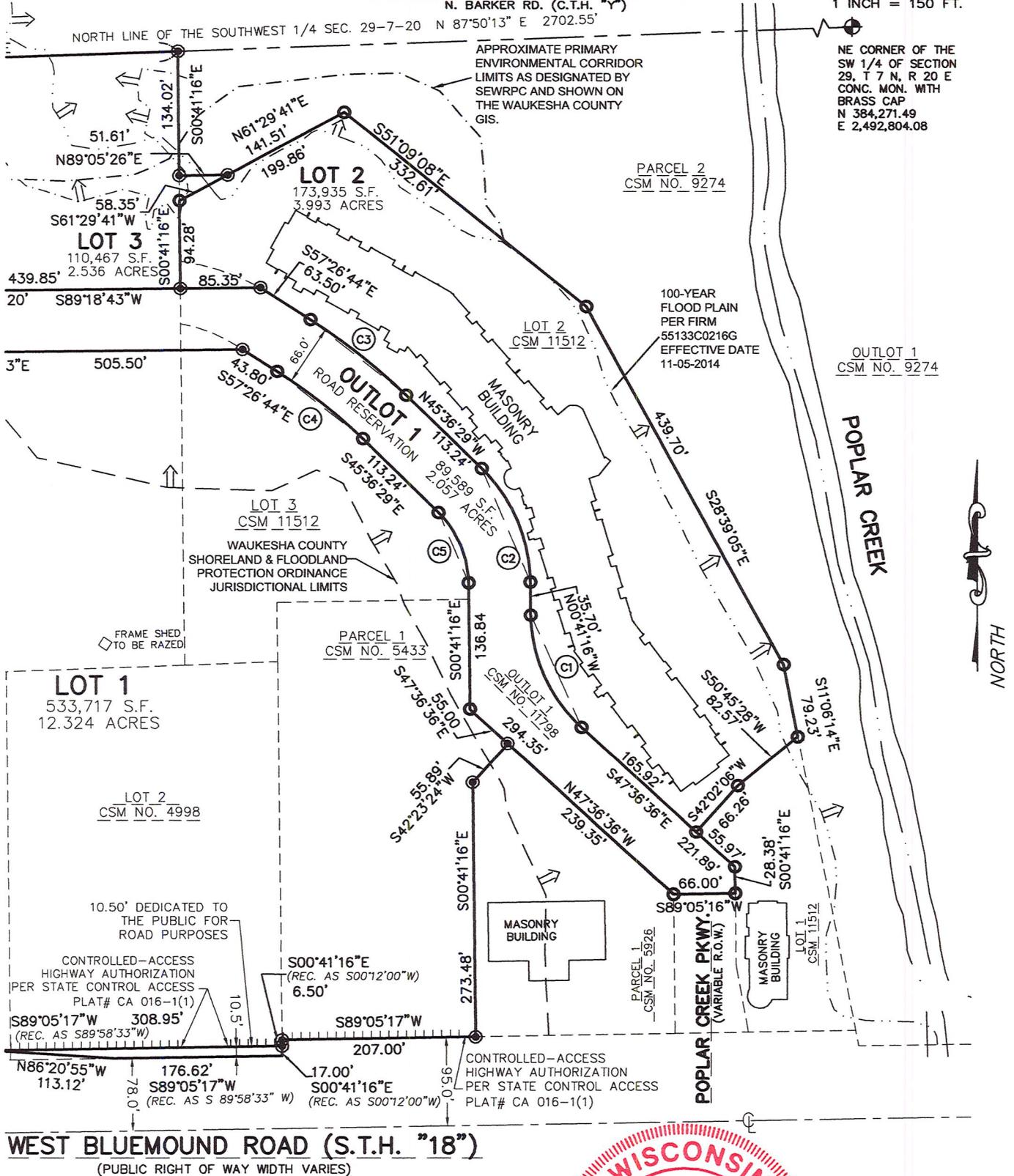
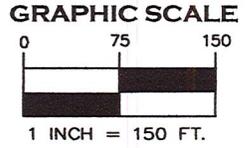


# CERTIFIED SURVEY MAP NO.

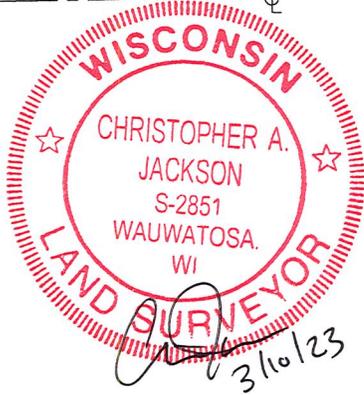
A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5433, LOT 1A AND LOT 2 OF CERTIFIED SURVEY MAP 4998, LOT 2 AND 3 OF CERTIFIED SURVEY MAP NO. 11512, OUTLOT 1 OF CERTIFIED SURVEY MAP 11798, PART OF PARCEL 2 OF CERTIFIED SURVEY MAP NO. 2974 AND LANDS, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

ALL BEARINGS REFER TO THE NORTH LINE OF THE SOUTH WEST 1/4 OF SECTION 29-07-20 WITH HAS A WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE) (NAD27) BEARING OF N 87°50'13" E.

- LEGEND**
- ⊙ INDICATES 1 INCH DIA. IRON PIPE, 18 INCHES IN LENGTH, WEIGHING 1.68 LBS PER LINEAL FOOT, SET.
  - INDICATES 1" IRON PIPE FOUND UNLESS OTHERWISE NOTED.
  - DENOTES NO VEHICULAR ACCESS TO S.T.H. 18 OR N. BARKER RD. (C.T.H. "Y")



- LEGEND (CONTINUED)**
- ↑ — DENOTES WETLAND LIMITS AND DIRECTION
  - — — DENOTES APPROXIMATE PRIMARY ENVIRONMENTAL CORRIDOR
  - ↑ — DENOTES 100-YEAR FLOOD PLAIN AND DIRECTION
  - ↑ — DENOTES WAUKESHA COUNTY SHORELAND & FLOODLAND PROTECTION ORDINANCE JURISDICTIONAL LIMITS AND DIRECTION

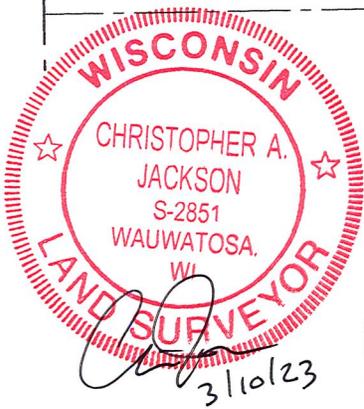
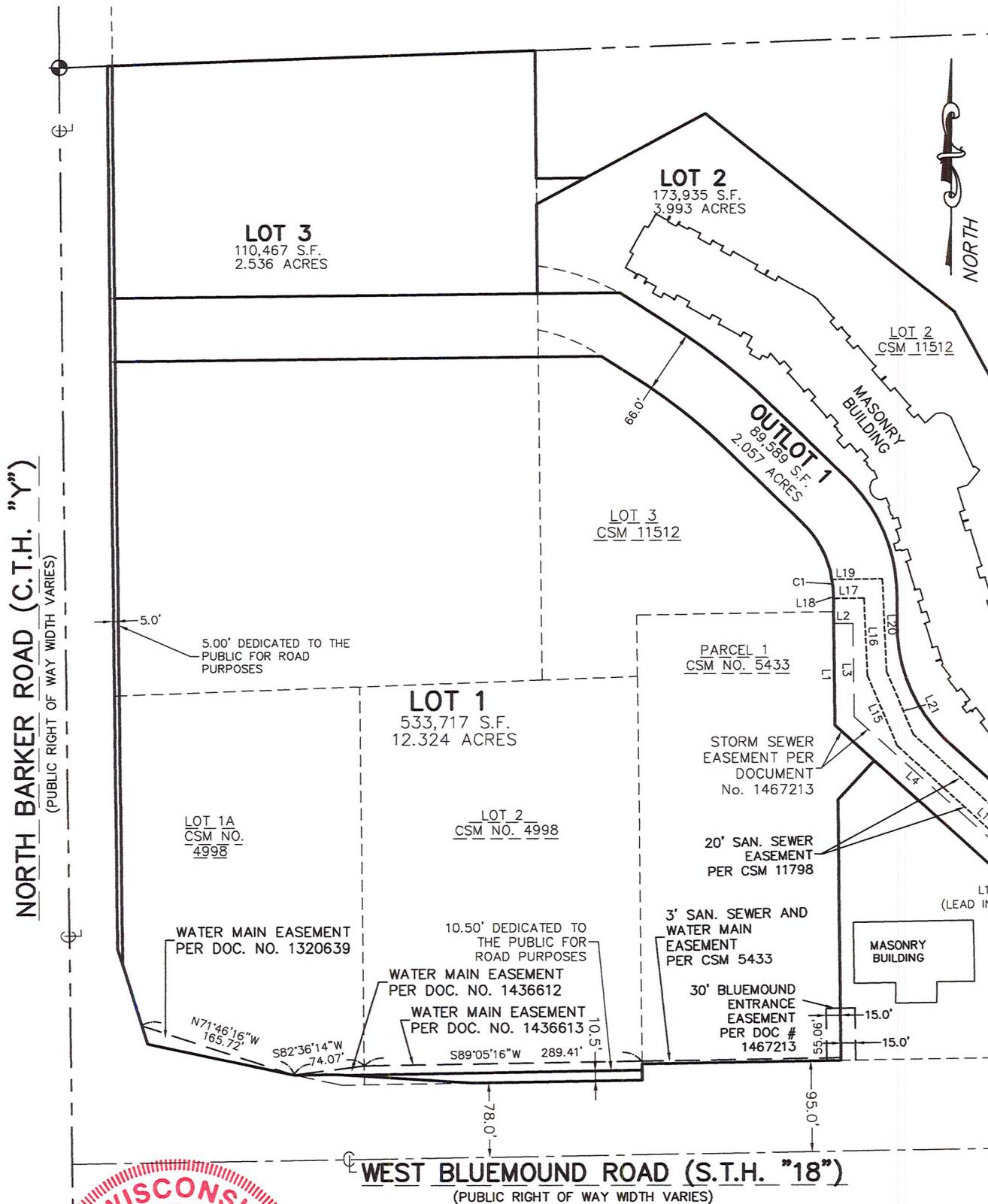


05-03-2022  
 REVISED 09-02-2022  
 REVISED 11-30-2022  
 REVISED 03-10-2023

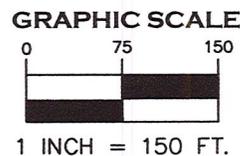
# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

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## EXISTING EASEMENTS



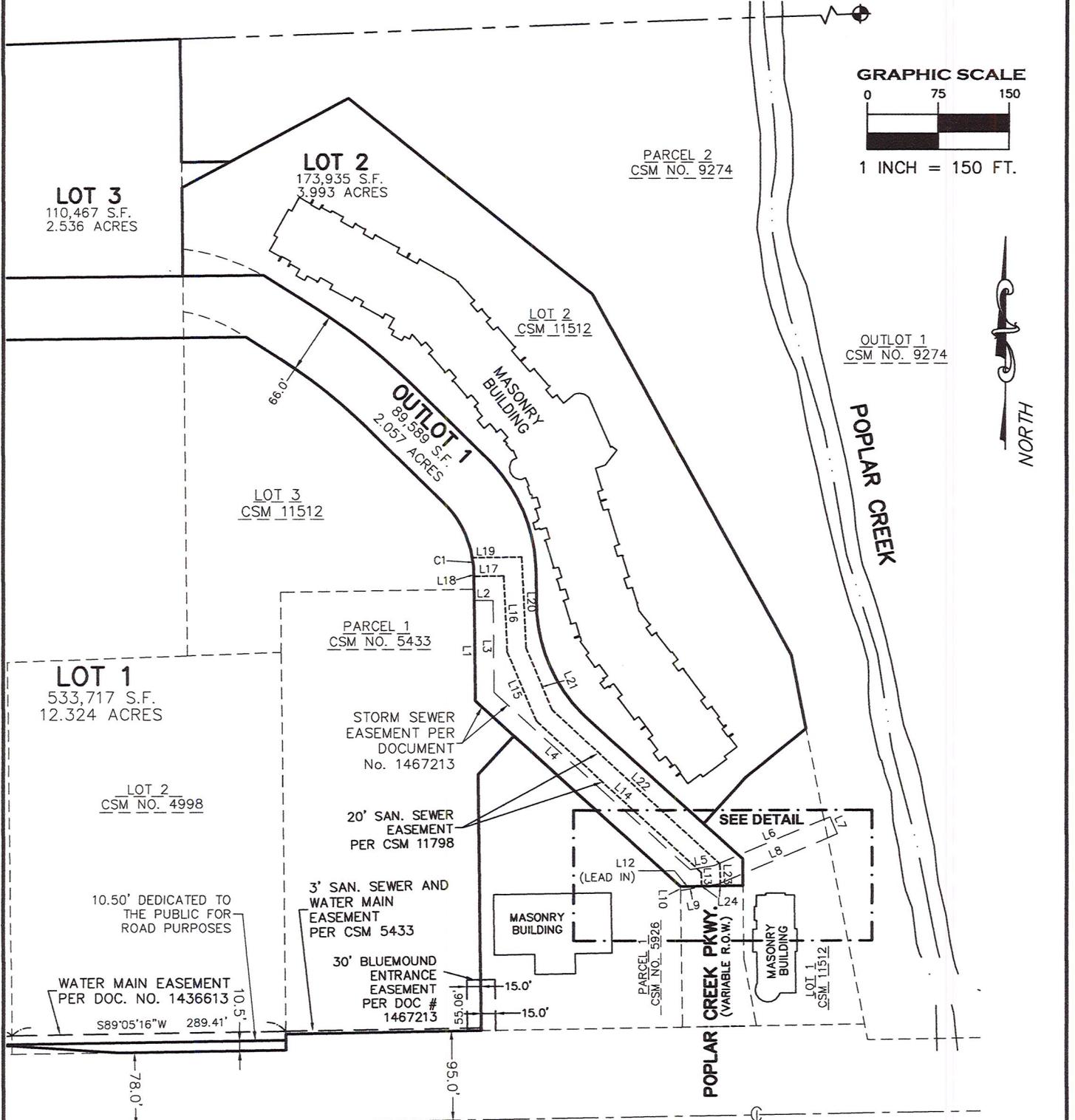
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 REVISED 03-10-2023



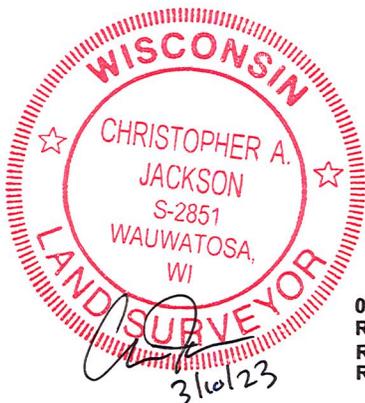
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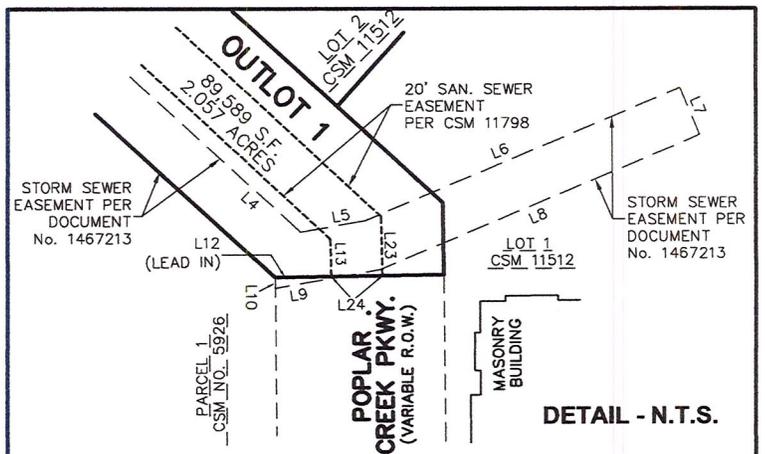
## EXISTING EASEMENTS



**WEST BLUEMOUND ROAD (S.T.H. "18")**  
(PUBLIC RIGHT OF WAY WIDTH VARIES)



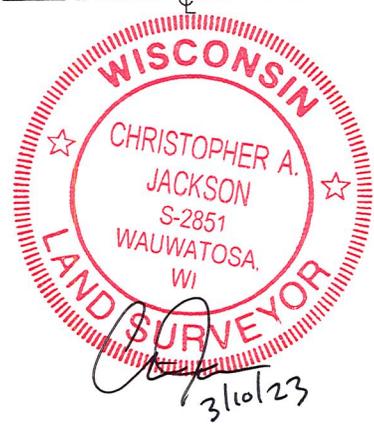
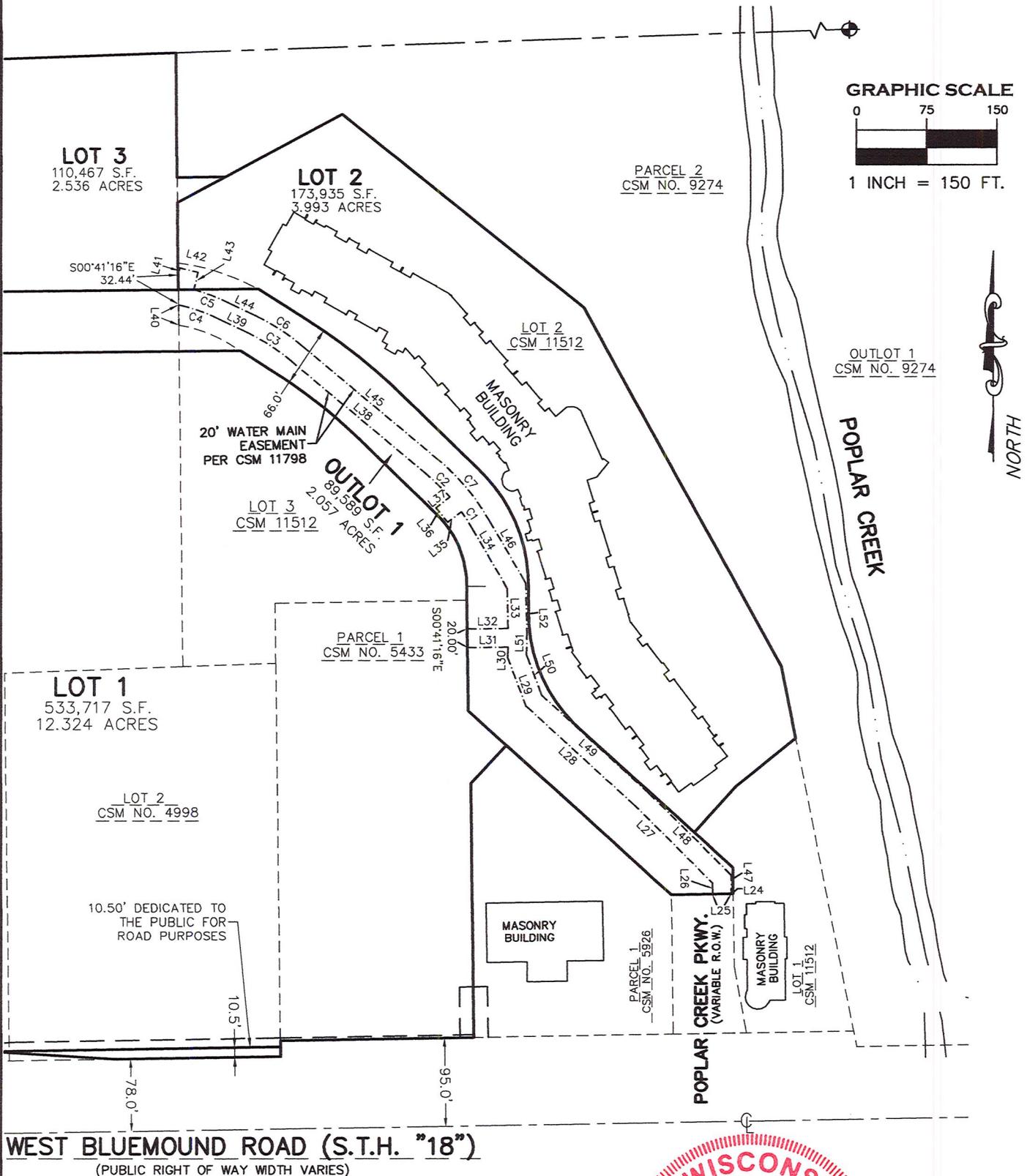
05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023



# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5433, LOT 1A AND LOT 2 OF CERTIFIED SURVEY MAP 4998, LOT 2 AND 3 OF CERTIFIED SURVEY MAP NO. 11512, OUTLOT 1 OF CERTIFIED SURVEY MAP 11798, PART OF PARCEL 2 OF CERTIFIED SURVEY MAP NO. 2974 AND LANDS, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## EXISTING EASEMENTS

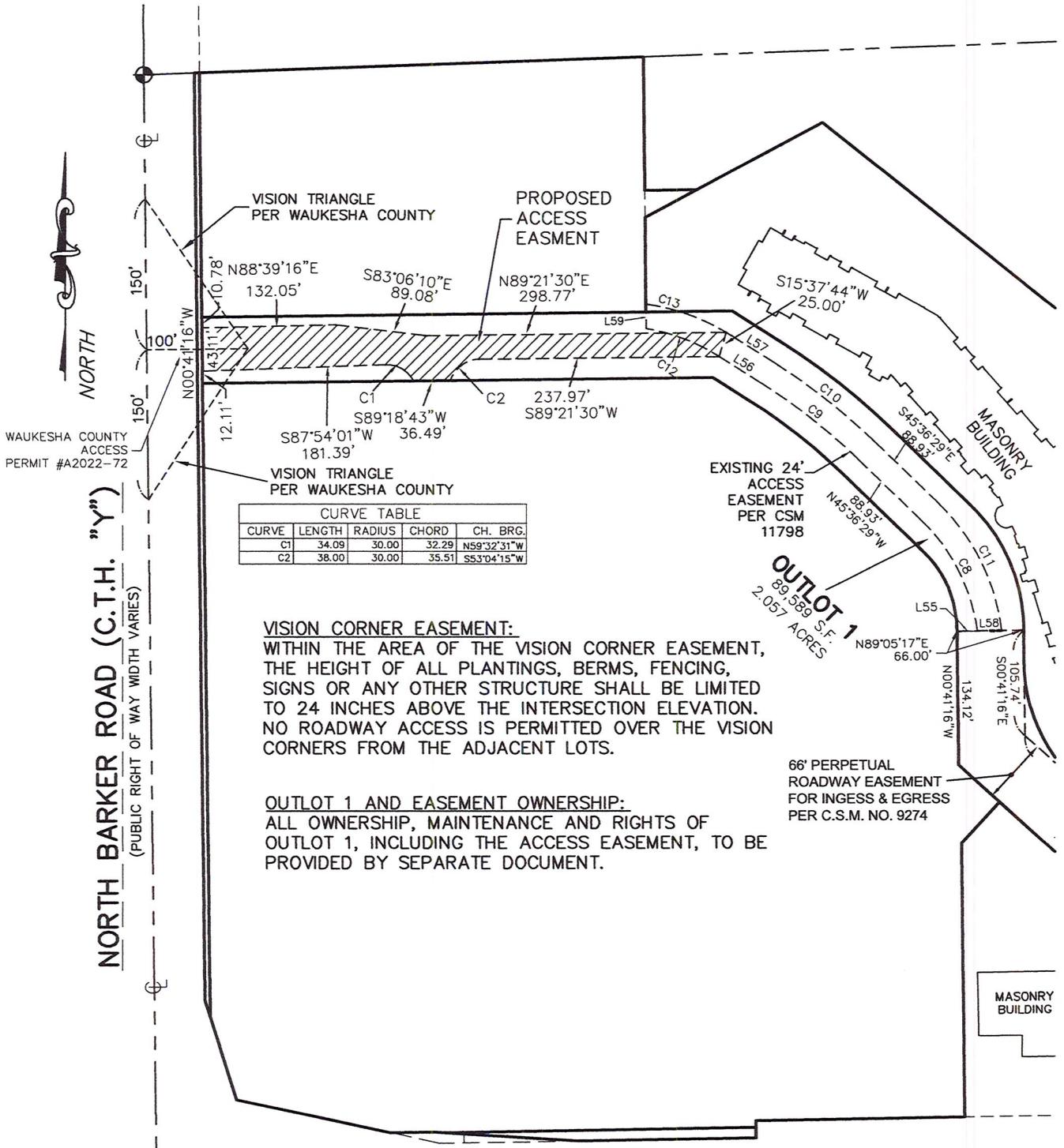


05-03-2022  
REVISED 09-02-2022  
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## ACCESS EASEMENTS

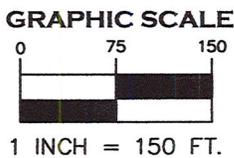
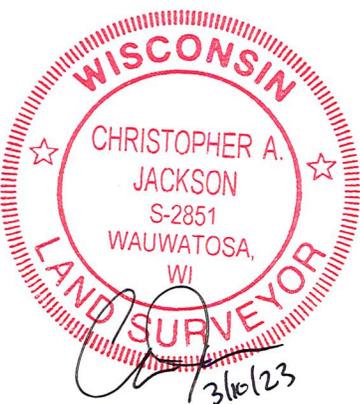


CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CH. BRG.
C1	34.09	30.00	32.29	N59°32'31"W
C2	38.00	30.00	35.51	S53°04'15"W

**VISION CORNER EASEMENT:**  
 WITHIN THE AREA OF THE VISION CORNER EASEMENT, THE HEIGHT OF ALL PLANTINGS, BERMS, FENCING, SIGNS OR ANY OTHER STRUCTURE SHALL BE LIMITED TO 24 INCHES ABOVE THE INTERSECTION ELEVATION. NO ROADWAY ACCESS IS PERMITTED OVER THE VISION CORNERS FROM THE ADJACENT LOTS.

**OUTLOT 1 AND EASEMENT OWNERSHIP:**  
 ALL OWNERSHIP, MAINTENANCE AND RIGHTS OF OUTLOT 1, INCLUDING THE ACCESS EASEMENT, TO BE PROVIDED BY SEPARATE DOCUMENT.

66' PERPETUAL ROADWAY EASEMENT FOR INGRESS & EGRESS PER C.S.M. NO. 9274

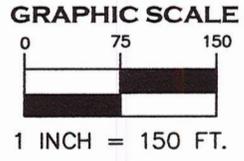
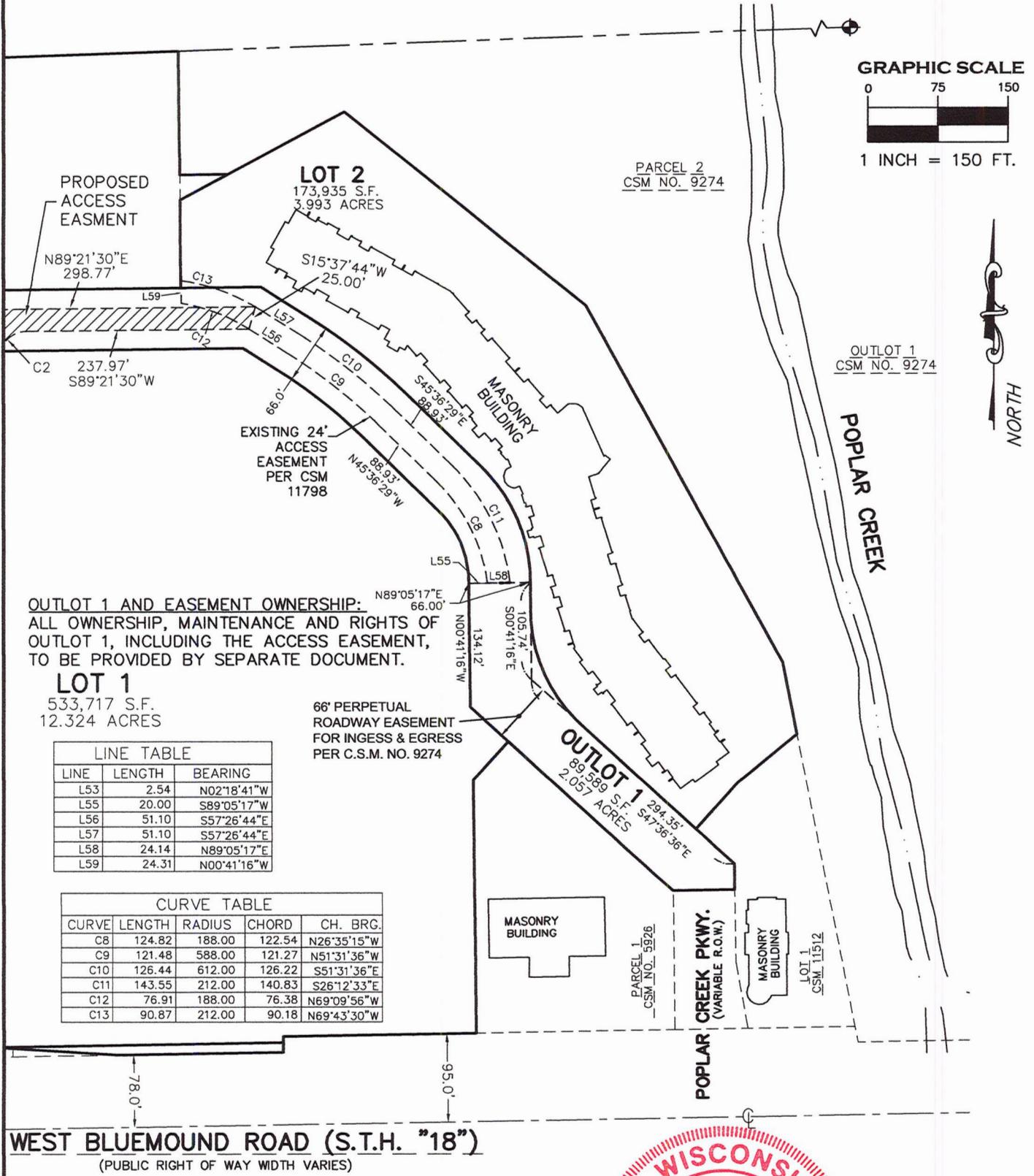


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## ACCESS EASEMENTS



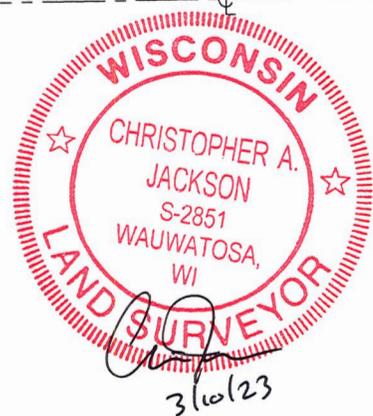
**OUTLOT 1 AND EASEMENT OWNERSHIP:**  
 ALL OWNERSHIP, MAINTENANCE AND RIGHTS OF OUTLOT 1, INCLUDING THE ACCESS EASEMENT, TO BE PROVIDED BY SEPARATE DOCUMENT.

**LOT 1**  
 533,717 S.F.  
 12.324 ACRES

LINE	LENGTH	BEARING
L53	2.54	N02°18'41"W
L55	20.00	S89°05'17"W
L56	51.10	S57°26'44"E
L57	51.10	S57°26'44"E
L58	24.14	N89°05'17"E
L59	24.31	N00°41'16"W

CURVE	LENGTH	RADIUS	CHORD	CH. BRG.
C8	124.82	188.00	122.54	N26°35'15"W
C9	121.48	588.00	121.27	N51°31'36"W
C10	126.44	612.00	126.22	S51°31'36"E
C11	143.55	212.00	140.83	S26°12'33"E
C12	76.91	188.00	76.38	N69°09'56"W
C13	90.87	212.00	90.18	N69°43'30"W

**WEST BLUEMOUND ROAD (S.T.H. "18")**  
 (PUBLIC RIGHT OF WAY WIDTH VARIES)



05-03-2022  
 REVISED 09-02-2022  
 REVISED 11-30-2022  
 REVISED 03-10-2023

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5433, LOT 1A AND LOT 2 OF CERTIFIED SURVEY MAP 4998, LOT 2 AND 3 OF CERTIFIED SURVEY MAP NO. 11512, OUTLOT 1 OF CERTIFIED SURVEY MAP 11798, PART OF PARCEL 2 OF CERTIFIED SURVEY MAP NO. 2974 AND LANDS, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## FLOOD PLAIN/WETLAND/PRIMARY ENVIRONMENTAL CORRIDOR RESTRICTIONS

THOSE AREAS IDENTIFIED AS A FLOOD PLAIN/WETLAND/PRIMARY ENVIRONMENTAL CORRIDOR PRESERVATION AREA ON SHEETS 1-3 OF 15 OF THIS CERTIFIED SURVEY MAP SHALL BE SUBJECT TO THE FOLLOWING RESTRICTIONS:

1. GRADING, FILLING AND REMOVAL OF TOPSOIL OR OTHER EARTHEN MATERIALS ARE PROHIBITED, UNLESS SPECIFICALLY AUTHORIZED BY THE MUNICIPALITY IN WHICH THIS LAND IS LOCATED AND, IF APPLICABLE, THE WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE, THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES AND THE ARMY CORPS OF ENGINEERS.
2. THE REMOVAL OR DESTRUCTION OF ANY VEGETATIVE COVER, I.E., TREES, SHRUBS, GRASSES, ETC., IS PROHIBITED, WITH THE EXCEPTION THAT INVASIVE, DEAD, DISEASED, OR DYING VEGETATION MAY BE REMOVED, AT THE DISCRETION OF THE LANDOWNER AND WITH APPROVAL FROM THE WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE-PLANNING AND ZONING DIVISION. SILVICULTURAL THINNING, UPON THE RECOMMENDATION OF A FORESTER OR NATURALIST AND WITH APPROVAL FROM THE WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE-PLANNING AND ZONING DIVISION, SHALL ALSO BE PERMITTED.
3. GRAZING BY DOMESTICATED ANIMALS, I.E., HORSES, COWS, ETC., IS PROHIBITED.
4. THE INTRODUCTION OF PLANT MATERIAL NOT INDIGENOUS TO THE EXISTING ENVIRONMENT IS PROHIBITED.
5. PONDS ARE PROHIBITED UNLESS DESIGNED TO ENHANCE THE NATURAL ENVIRONMENT. PONDS THAT MAY BE PERMITTED ARE SUBJECT TO THE APPROVAL OF THE MUNICIPALITY IN WHICH THEY ARE LOCATED AND, IF APPLICABLE, THE WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE, THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES AND THE ARMY CORPS OF ENGINEERS.
6. THE CONSTRUCTION OF BUILDINGS IS PROHIBITED.
7. WETLAND LIMITS LINE SHOWN SUBJECT TO CHANGE PER WISCONSIN DNR PERMIT GP-SE-2021-68-04332.

WATER MAIN EASEMENT PER CSM 11798

LINE TABLE		
LINE	LENGTH	BEARING
L24	1.91	S89°05'16"W
L25	20.00	S89°05'16"W
L26	12.08	N00°35'51"W
L27	116.64	N45°01'46"W
L28	159.77	N47°13'02"W
L29	55.41	N20°23'41"W
L30	11.58	N01°07'48"E
L31	43.32	S89°18'44"W
L32	43.76	N89°18'44"E
L33	42.84	N01°26'29"W
L34	75.16	N29°59'12"W
L35	18.65	N51°58'30"E
L36	20.00	N38°01'30"W
L37	18.65	N51°58'30"E
L38	189.09	N49°56'38"W
L39	32.58	N64°15'27"W
L40	21.61	S00°41'16"E
L41	7.68	S13°55'15"W
L42	20.00	S76°04'45"E
L43	19.27	S13°55'15"W
L44	32.58	N64°15'27"W
L45	189.09	N49°56'38"W
L46	80.16	N29°59'12"W
L47	20.14	N00°35'51"W
L48	125.19	N45°01'46"W
L49	155.39	N47°13'02"W
L50	46.84	N20°23'41"W
L51	23.98	N01°07'48"E
L52	52.71	N01°29'00"W
L53	2.54	N02°18'41"W

STORM SEWER EASEMENT PER DOC. 1467213

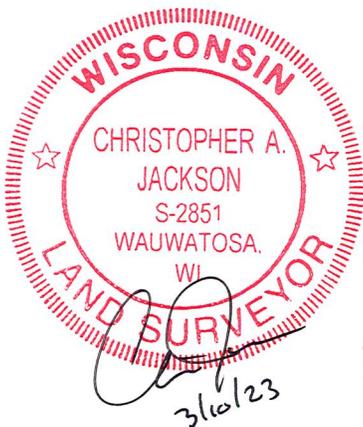
LINE TABLE		
LINE	LENGTH	BEARING
L1	106.68	N00°41'16"W
L2	20.00	S89°18'44"W
L3	98.00	N00°41'16"W
L4	281.15	N47°36'36"W
L5	25.56	N80°01'07"E
L6	133.38	N67°03'18"E
L7	19.98	N22°56'52"W
L8	135.65	N67°03'18"E
L9	41.60	N80°01'07"E
L10	4.26	N00°41'16"W

SAN. SEWER EASEMENT PER CSM 11798

LINE TABLE				
LINE	LENGTH	BEARING		
L12	21.97	N89°05'16"E		
L13	14.63	N01°10'22"W		
L14	238.21	N47°07'34"W		
L15	79.50	N22°47'09"W		
L16	81.38	N02°34'00"W		
L17	31.66	S89°13'40"W		
L18	4.06	N04°58'20"W		
L19	52.21	S89°13'40"W		
L20	97.20	N02°34'00"W		
L21	71.62	N22°47'09"W		
L22	242.37	N47°07'34"W		
L23	23.20	N01°10'22"W		
L24	20.00	N89°05'16"E		
CURVE	LENGTH	RADIUS	CHORD	CH. BRG.
C1	16.00	107.00	4.06	N04°58'20"W

WATER MAIN EASEMENT PER CSM 11798

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CH. BRG.
C1	20.86	220.00	20.85	N22°20'24"E
C2	35.76	220.00	35.72	N10°54'09"E
C3	54.96	220.00	54.82	N57°06'02"W
C4	47.21	220.00	47.12	N70°24'19"W
C5	39.52	240.00	39.47	S12°11'14"E
C6	59.96	240.00	59.80	S57°06'02"E
C7	83.60	240.00	83.17	S39°57'55"E



05-03-2022  
 REVISED 09-02-2022  
 REVISED 11-30-2022  
 REVISED 03-10-2023

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5433, LOT 1A AND LOT 2 OF CERTIFIED SURVEY MAP 4998, LOT 2 AND 3 OF CERTIFIED SURVEY MAP NO. 11512, OUTLOT 1 OF CERTIFIED SURVEY MAP 11798, PART OF PARCEL 2 OF CERTIFIED SURVEY MAP NO. 2974 AND LANDS, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN) SS  
WAUKESHA COUNTY)

I, CHRISTOPHER JACKSON, A PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED, MAPPED, DIVIDED AND DEDICATED A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5433, LOT 1A AND LOT 2 OF CERTIFIED SURVEY MAP 4998, LOT 2 AND 3 OF CERTIFIED SURVEY MAP NO. 11512, OUTLOT 1 OF CERTIFIED SURVEY MAP 11798, PART OF PARCEL 2 OF CERTIFIED SURVEY MAP NO. 2974 AND LANDS, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE SAID SOUTHWEST 1/4 OF SECTION 29; THENCE N 87°50'13" E ALONG THE NORTH LINE OF SAID 1/4 SECTION 50.02 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING N 87°50'13" E ALONG SAID NORTH LINE OF 1/4 SECTION 445.00 FEET; THENCE S 00°41'16" E 134.02 FEET; THENCE N 89°05'26" E 51.61 FEET; THENCE N 61°29'41" E 141.51 FEET; THENCE S 51°09'08" E 332.61 FEET; THENCE S 28°39'05" E 439.70 FEET; THENCE S 11°06'14" E 79.23 FEET; THENCE S 50°45'28" W 82.57 FEET; THENCE S 42°02'06" W 66.26 FEET; THENCE S 47°36'36" E 55.97 FEET; THENCE S 00°41'16" E 28.38 FEET; THENCE S 89°05'16" W 66.00 FEET; N 47°36'36" W 239.35 FEET; S 42°23'24" W 55.89 FEET; THENCE S 00°41'16" E 273.48 FEET TO THE NORTH RIGHT-OF-WAY LINE OF S.T.H. 18; THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE S 89°05'17" W 207.00 FEET; THENCE S 00°41'16" E 17.00 FEET; THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE S 89°05'17" W 176.62 FEET; THENCE CONTINUING ALONG SAID NORTH RIGHT-OF-WAY LINE N 86°20'55" W 113.12 FEET; THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE N 86°31'08" W 30.31 FEET; THENCE CONTINUING ALONG SAID NORTH RIGHT-OF-WAY LINE S 89°05'33" W 42.43 FEET; THENCE CONTINUING ALONG SAID NORTH RIGHT-OF-WAY LINE N 77°47'41" W 155.86 TO THE EAST RIGHT-OF-WAY LINE OF C.T.H. Y; THENCE ALONG SAID EAST RIGHT-OF-WAY LINE N 17°23'16" W 104.40 FEET; THENCE CONTINUING ALONG SAID EAST RIGHT-OF-WAY LINE N 00°41'16" W 925.28 FEET TO THE POINT OF BEGINNING.

CONTAINING 912,417 SQUARE FEET OR 20.946 ACRES MORE OR LESS

THAT I HAVE MADE SUCH SURVEY, MAP AND REDIVISION BY THE DIRECTION OF POPLAR CREEK CLUB, LLC, 20300 BLUEMOUND, LLC, 20290 BLUEMOUND, LLC, 20150 BLUEMOUND, LLC, POPLAR CREEK CLUB II, LLC, OWNERS OF SAID LAND.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236 OF THE STATUTES OF THE STATE OF WISCONSIN AND THE REGULATIONS OF THE TOWN OF BROOKFIELD AND THE LAND DIVISION AND PLATTING REGULATIONS OF WAUKESHA COUNTY IN SURVEYING AND MAPPING THE SAME.

DATED THIS 10 DAY OF MARCH, 2023.



CHRISTOPHER A. JACKSON  
PROFESSIONAL LAND SURVEYOR, S-2851  
STATE OF WISCONSIN



05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5433, LOT 1A AND LOT 2 OF CERTIFIED SURVEY MAP 4998, LOT 2 AND 3 OF CERTIFIED SURVEY MAP NO. 11512, OUTLOT 1 OF CERTIFIED SURVEY MAP 11798, PART OF PARCEL 2 OF CERTIFIED SURVEY MAP NO. 2974 AND LANDS, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## CORPORATE OWNER'S CERTIFICATE

POPLAR CREEK CLUB, LLC, A LIMITED LIABILITY CORPORATION ORGANIZED UNDER THE LAWS OF THE STATE OF WISCONSIN AS OWNER, DOES HEREBY CERTIFY THAT SAID COMPANY CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, MAPPED AND DIVIDED AS REPRESENTED ON THIS MAP. I ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE TOWN OF BROOKFIELD, WAUKESHA COUNTY AND THE CITY OF WAUKESHA FOR APPROVAL.

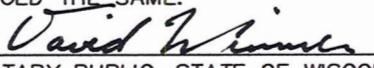
IN WITNESS WHEREOF, POPLAR CREEK CLUB, LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY POPLAR CREEK CLUB HOLDINGS, LLC, BY WIMMER BROTHERS REALTY, INC., MANAGER, BY JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT AND ITS CORPORATE SEAL TO BE AFFIXED THIS 30<sup>th</sup> DAY OF March, 2023.

STATE OF WISCONSIN) SS  
WAUKESHA COUNTY)

  
POPLAR CREEK CLUB HOLDINGS, LLC  
WIMMER BROTHERS REALTY, INC., MANAGER  
JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT

PERSONALLY CAME BEFORE ME THIS 30<sup>th</sup> DAY OF March, 2023, THE ABOVE JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT OF WIMMER BROTHERS REALTY, INC., MANAGER OF POPLAR CREEK CLUB HOLDINGS, LLC, TO ME KNOWN TO BE THE MANAGING MEMBER OF POPLAR CREEK CLUB, LLC AND THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

**DAVID T. WIMMER  
NOTARY PUBLIC  
STATE OF WISCONSIN**

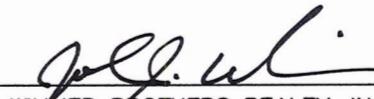
  
NOTARY PUBLIC, STATE OF WISCONSIN  
MY COMMISSION EXPIRES is permanent

## CORPORATE OWNER'S CERTIFICATE

20300 BLUEMOUND, LLC, A LIMITED LIABILITY CORPORATION ORGANIZED UNDER THE LAWS OF THE STATE OF WISCONSIN AS OWNER, DOES HEREBY CERTIFY THAT SAID COMPANY CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, MAPPED AND DIVIDED AS REPRESENTED ON THIS MAP. I ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE TOWN OF BROOKFIELD, WAUKESHA COUNTY AND THE CITY OF WAUKESHA FOR APPROVAL.

IN WITNESS WHEREOF, 20300 BLUEMOUND, LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY WIMMER BROTHERS REALTY, INC. MANAGER, BY JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT AND ITS CORPORATE SEAL TO BE AFFIXED THIS 30<sup>th</sup> DAY OF March, 2023.

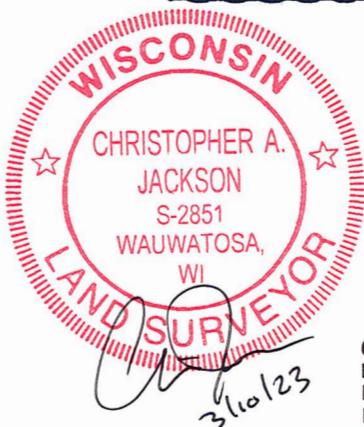
STATE OF WISCONSIN) SS  
WAUKESHA COUNTY)

  
WIMMER BROTHERS REALTY, INC., MANAGER  
JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT

PERSONALLY CAME BEFORE ME THIS 30<sup>th</sup> DAY OF March, 2023, THE ABOVE JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT OF WIMMER BROTHERS REALTY, INC. TO ME KNOWN TO BE THE MANAGER OF 20300 BLUEMOUND, LLC AND THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

**DAVID T. WIMMER  
NOTARY PUBLIC  
STATE OF WISCONSIN**

  
NOTARY PUBLIC, STATE OF WISCONSIN  
MY COMMISSION EXPIRES is permanent



05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

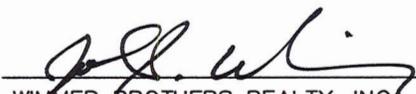
A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5433, LOT 1A AND LOT 2 OF CERTIFIED SURVEY MAP 4998, LOT 2 AND 3 OF CERTIFIED SURVEY MAP NO. 11512, OUTLOT 1 OF CERTIFIED SURVEY MAP 11798, PART OF PARCEL 2 OF CERTIFIED SURVEY MAP NO. 2974 AND LANDS, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## CORPORATE OWNER'S CERTIFICATE

20290 BLUEMOUND, LLC, A LIMITED LIABILITY CORPORATION ORGANIZED UNDER THE LAWS OF THE STATE OF WISCONSIN AS OWNER, DOES HEREBY CERTIFY THAT SAID COMPANY CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, MAPPED AND DIVIDED AS REPRESENTED ON THIS MAP. I ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE TOWN OF BROOKFIELD, WAUKESHA COUNTY AND THE CITY OF WAUKESHA FOR APPROVAL.

IN WITNESS WHEREOF, 20290 BLUEMOUND, LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY WIMMER BROTHERS REALTY, INC. MANAGER, BY JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT AND ITS CORPORATE SEAL TO BE AFFIXED  
THIS 30<sup>th</sup> DAY OF March, 2023.

STATE OF WISCONSIN) SS  
WAUKESHA COUNTY)

  
WIMMER BROTHERS REALTY, INC., MANAGER  
JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT

PERSONALLY CAME BEFORE ME THIS 30<sup>th</sup> DAY OF March, 2023, THE ABOVE JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT OF WIMMER BROTHERS REALTY, INC. TO ME KNOWN TO BE THE MANAGER OF 20290 BLUEMOUND, LLC AND THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.



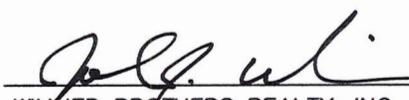
  
NOTARY PUBLIC, STATE OF WISCONSIN  
MY COMMISSION EXPIRES is permanent

## CORPORATE OWNER'S CERTIFICATE

20150 BLUEMOUND, LLC, A LIMITED LIABILITY CORPORATION ORGANIZED UNDER THE LAWS OF THE STATE OF WISCONSIN AS OWNER, DOES HEREBY CERTIFY THAT SAID COMPANY CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, MAPPED AND DIVIDED AS REPRESENTED ON THIS MAP. I ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE TOWN OF BROOKFIELD, WAUKESHA COUNTY AND THE CITY OF WAUKESHA FOR APPROVAL.

IN WITNESS WHEREOF, 20150 BLUEMOUND, LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY WIMMER BROTHERS REALTY, INC. MANAGER, BY JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT AND ITS CORPORATE SEAL TO BE AFFIXED  
THIS 30<sup>th</sup> DAY OF March, 2023.

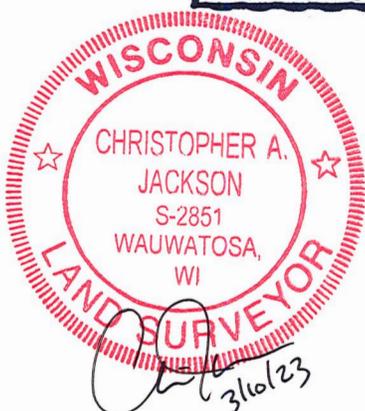
STATE OF WISCONSIN) SS  
WAUKESHA COUNTY)

  
WIMMER BROTHERS REALTY, INC., MANAGER  
JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT

PERSONALLY CAME BEFORE ME THIS 30<sup>th</sup> DAY OF March, 2023, THE ABOVE JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT OF WIMMER BROTHERS REALTY, INC. TO ME KNOWN TO BE THE MANAGER OF 20150 BLUEMOUND, LLC AND THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.



  
NOTARY PUBLIC, STATE OF WISCONSIN  
MY COMMISSION EXPIRES is permanent



05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5433, LOT 1A AND LOT 2 OF CERTIFIED SURVEY MAP 4998, LOT 2 AND 3 OF CERTIFIED SURVEY MAP NO. 11512, OUTLOT 1 OF CERTIFIED SURVEY MAP 11798, PART OF PARCEL 2 OF CERTIFIED SURVEY MAP NO. 2974 AND LANDS, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## CORPORATE OWNER'S CERTIFICATE

POPLAR CREEK CLUB II, LLC, A LIMITED LIABILITY CORPORATION ORGANIZED UNDER THE LAWS OF THE STATE OF WISCONSIN AS OWNER, DOES HEREBY CERTIFY THAT SAID COMPANY CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, MAPPED AND DIVIDED AS REPRESENTED ON THIS MAP. I ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE TOWN OF BROOKFIELD, WAUKESHA COUNTY AND THE CITY OF WAUKESHA FOR APPROVAL.

IN WITNESS WHEREOF, POPLAR CREEK CLUB II, LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY WIMMER BROTHERS REALTY, INC. MANAGER, BY JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT AND ITS CORPORATE SEAL TO BE AFFIXED THIS 30<sup>th</sup> DAY OF March, 2023.

STATE OF WISCONSIN) SS  
WAUKESHA COUNTY)

[Signature]  
WIMMER BROTHERS REALTY, INC., MANAGER  
JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT

PERSONALLY CAME BEFORE ME THIS 30<sup>th</sup> DAY OF March, 2023, THE ABOVE JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT OF WIMMER BROTHERS REALTY, INC. TO ME KNOWN TO BE THE MANAGER OF POPLAR CREEK CLUB II, LLC AND THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

**DAVID T. WIMMER  
NOTARY PUBLIC  
STATE OF WISCONSIN**

[Signature]  
NOTARY PUBLIC, STATE OF WISCONSIN  
MY COMMISSION EXPIRES is permanent

## CONSENT OF CORPORATE MORTGAGEE CERTIFICATE

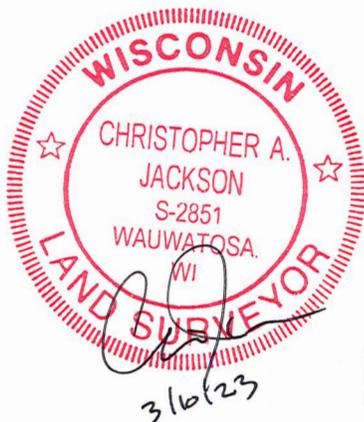
ASSOCIATED BANK, A NATIONAL ASSOCIATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, MORTGAGEE OF THE ABOVE DESCRIBED LAND, DOES HEREBY CONSENT TO THE SURVEYING, DIVIDING AND MAPPING OF THE LAND DESCRIBED ON THIS MAP AND DOES HEREBY CONSENT TO THE ABOVE CERTIFICATION OF OWNERS

IN WITNESS WHEREOF, THE SAID ASSOCIATED BANK, NATIONAL ASSOCIATION, HAS CAUSED THESE PRESENTS TO BE SIGNED BY Ryan Krombach, AT Milwaukee, WISCONSIN, THIS 5 DAY OF April, 2023.

STATE OF WISCONSIN) SS  
MILWAUKEE COUNTY)

BY: [Signature]  
RYAN KROMBACH  
VICE PRESIDENT

PERSONALLY CAME BEFORE ME ON April 5, 2023, BY Ryan Krombach, IN HIS/HER CAPACITY AS Vice President OF ASSOCIATED BANK, NATIONAL ASSOCIATION, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.



[Signature]  
NOTARY PUBLIC State of Wisconsin  
STATE OF WISCONSIN  
MY COMMISSION EXPIRES: is permanent

**DAVID T. WIMMER  
NOTARY PUBLIC  
STATE OF WISCONSIN**

05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5433, LOT 1A AND LOT 2 OF CERTIFIED SURVEY MAP 4998, LOT 2 AND 3 OF CERTIFIED SURVEY MAP NO. 11512, OUTLOT 1 OF CERTIFIED SURVEY MAP 11798, PART OF PARCEL 2 OF CERTIFIED SURVEY MAP NO. 2974 AND LANDS, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## CONSENT OF CORPORATE MORTGAGEE CERTIFICATE

WELLS FARGO BANK, NATIONAL ASSOCIATION, AS TRUSTEE FOR THE REGISTERED HOLDERS OF BANC OF AMERICA MERRILL LYNCH COMMERCIAL MORTGAGE INC., MULTIFAMILY MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2021-K124

MORTGAGEE OF THE ABOVE DESCRIBED LAND, DOES HEREBY CONSENT TO THE SURVEYING, DIVIDING AND MAPPING OF THE LAND DESCRIBED ON THIS MAP AND DOES HEREBY CONSENT TO THE ABOVE CERTIFICATION OF OWNERS

IN WITNESS WHEREOF, THE SAID WELLS FARGO BANK, NATIONAL ASSOCIATION, AS TRUSTEE FOR THE REGISTERED HOLDERS OF BANC OF AMERICA MERRILL LYNCH COMMERCIAL MORTGAGE INC., MULTIFAMILY MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2021-K124, HAS CAUSED THESE PRESENTS TO BE SIGNED BY Paul Cairns, AT Minneapolis, MINNESOTA, THIS 14<sup>th</sup> DAY OF June, 2023.

BY: WELLS FARGO, NATIONAL ASSOCIATION,  
AS MASTER SERVICER  
BY: NORTHMARQ CAPITAL, LLC, A MINNESOTA LIMITED LIABILITY COMPANY,  
AS SUB-SERVICER  
BY: [Signature]  
ITS: Senior Vice President

STATE OF MINNESOTA)  
Hennepin COUNTY) SS

PERSONALLY CAME BEFORE ME ON June 14, 2023 BY Paul Cairns, IN HIS/HER CAPACITY AS Senior Vice President OF NORTHMARQ CAPITAL, LLC, A MINNESOTA LIMITED LIABILITY COMPANY, AS SUB-SERVICER OF WELLS FARGO, NATIONAL ASSOCIATION, AS MASTER SERVICER OF WELLS FARGO BANK, NATIONAL ASSOCIATION, AS TRUSTEE FOR THE REGISTERED HOLDERS OF BANC OF AMERICA MERRILL LYNCH COMMERCIAL MORTGAGE INC., MULTIFAMILY MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2021-K124, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

[Signature]  
NOTARY PUBLIC Kristine Brost  
STATE OF MINNESOTA  
MY COMMISSION EXPIRES: 1/31/2024



05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5433, LOT 1A AND LOT 2 OF CERTIFIED SURVEY MAP 4998, LOT 2 AND 3 OF CERTIFIED SURVEY MAP NO. 11512, OUTLOT 1 OF CERTIFIED SURVEY MAP 11798, PART OF PARCEL 2 OF CERTIFIED SURVEY MAP NO. 2974 AND LANDS, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## PLANNING COMMISSION APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE TOWN OF BROOKFIELD ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

Keith Henderson  
KEITH HENDERSON - CHAIRPERSON

\_\_\_\_\_  
-CLERK

## TOWN BOARD APPROVAL

APPROVED BY THE TOWN OF BROOKFIELD, BOARD OF SUPERVISORS ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

Keith Henderson  
KEITH HENDERSON - CHAIRPERSON

\_\_\_\_\_  
-CLERK



## WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE

THE ABOVE, WHICH HAS BEEN FILED FOR APPROVAL AS REQUIRED BY CHAPTER 236 OF THE WISCONSIN STATE STATUTES, IS HEREBY APPROVED ON THIS 4<sup>th</sup> DAY OF April, 2023

Dale R. Shaver  
by Pandis E. Ocheren  
DALE R. SHAVER - DIRECTOR

## CITY OF WAUKESHA BOARD EXTRATERRITORIAL APPROVAL

RESOLVED THAT THE PLAT, IN THE TOWN OF BROOKFIELD, IS HEREBY APPROVED BY THE CITY OF WAUKESHA BOARD: PLAN COMMISSION

DATE: July 27, 2022

SIGNED: Shawn N. Reilly

SIGNED: Maria Pandazi  
MARIA PANDAZI  
PLAN COMMISSION SECRETARY

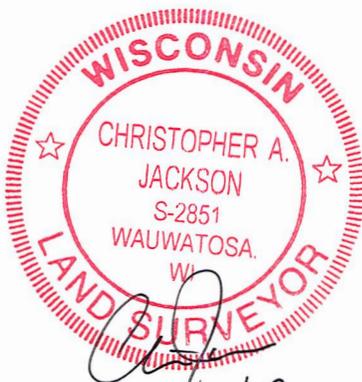
NAME: Shawn N. Reilly  
TITLE: Mayor

I HEREBY CERTIFY THAT THE FOREGOING IS A TRUE AND CORRECT COPY OF A RESOLUTION ADOPTED BY THE CITY BOARD OF THE CITY OF WAUKESHA: COUNCIL

DATE: August 2, 2022

SIGNED: Gina Kozlik

NAME: GINA KOZLIK  
TITLE: CLERK/TREASURER



05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023

3/10/23

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. \_\_\_\_\_, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

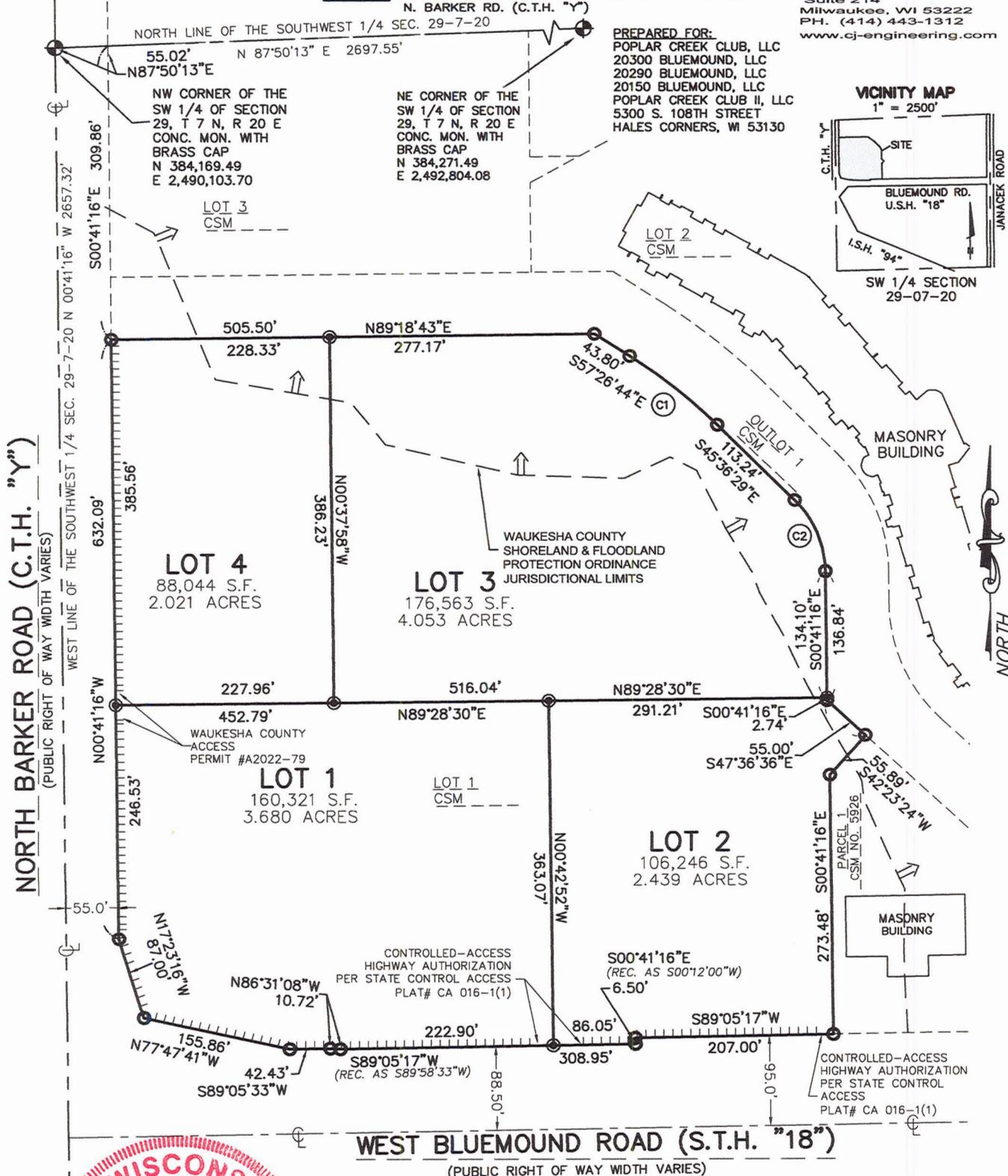
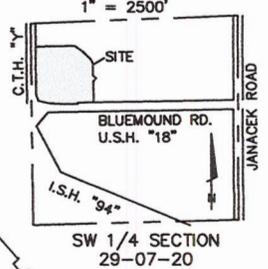
## LEGEND

ALL BEARINGS REFER TO THE NORTH LINE OF THE SOUTH WEST 1/4 OF SECTION 29-07-20 WITH HAS A WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE) (NAD27) BEARING OF N 87°50'13" E.

- INDICATES 1 INCH DIA. IRON PIPE, 18 INCHES IN LENGTH, WEIGHING 1.68 LBS PER LINEAL FOOT, SET.
- INDICATES 1" IRON PIPE FOUND UNLESS OTHERWISE NOTED.
- ===== DENOTES NO VEHICULAR ACCESS TO S.T.H. 18 OR N. BARKER RD. (C.T.H. "Y")

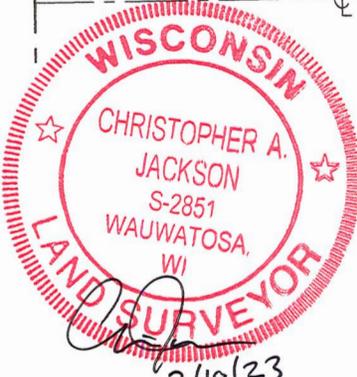
**CJ**  
engineering  
civil design and consulting  
9205 W. Center Street  
Suite 214  
Milwaukee, WI 53222  
PH. (414) 443-1312  
www.cj-engineering.com

### VICINITY MAP



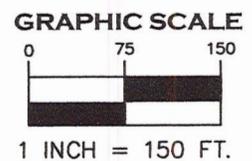
NORTH BARKER ROAD (C.T.H. "Y")  
(PUBLIC RIGHT OF WAY WIDTH VARIES)

WEST BLUEMOUND ROAD (S.T.H. "18")  
(PUBLIC RIGHT OF WAY WIDTH VARIES)



05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023

CURVE TABLE				
NO.	ARC	RADIUS	CHORD	CH. BEARING
C1	117.14'	567.00'	116.94'	S51°31'36"E
C2	83.89'	107.00'	81.76'	S23°08'52"E





# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. \_\_\_\_\_, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## ACCESS EASEMENTS

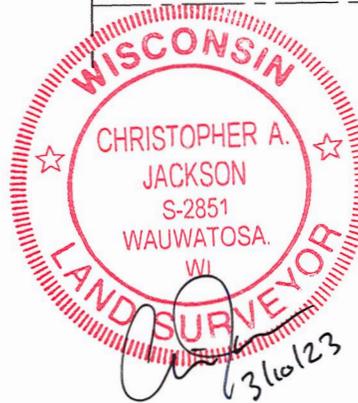
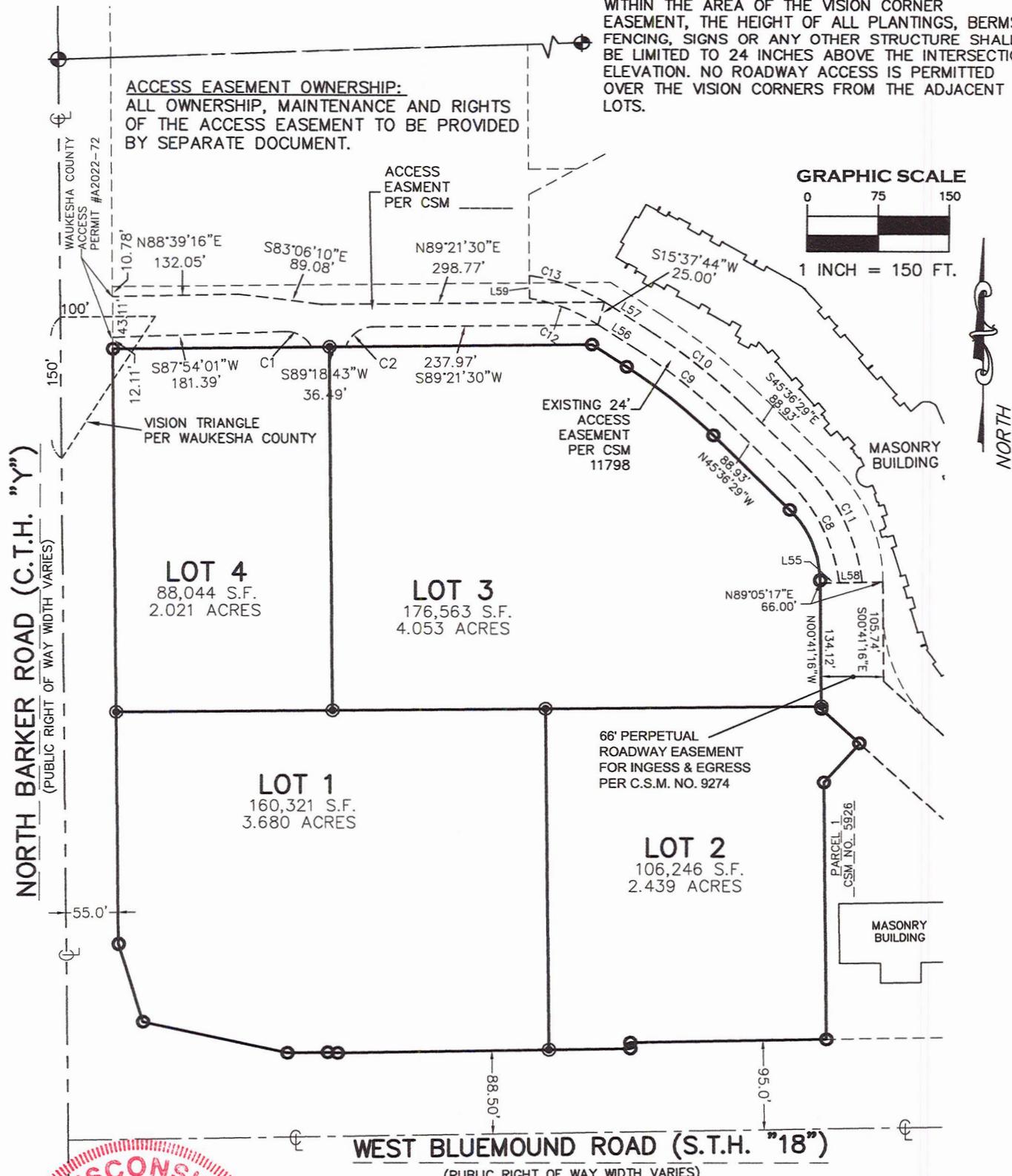
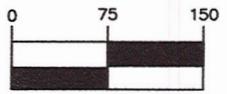
### VISION CORNER EASEMENT:

WITHIN THE AREA OF THE VISION CORNER EASEMENT, THE HEIGHT OF ALL PLANTINGS, BERMS, FENCING, SIGNS OR ANY OTHER STRUCTURE SHALL BE LIMITED TO 24 INCHES ABOVE THE INTERSECTION ELEVATION. NO ROADWAY ACCESS IS PERMITTED OVER THE VISION CORNERS FROM THE ADJACENT LOTS.

**ACCESS EASEMENT OWNERSHIP:**  
ALL OWNERSHIP, MAINTENANCE AND RIGHTS OF THE ACCESS EASEMENT TO BE PROVIDED BY SEPARATE DOCUMENT.

ACCESS EASEMENT PER CSM

### GRAPHIC SCALE



LINE TABLE		
LINE	LENGTH	BEARING
L53	2.54	N02°18'41"W
L55	20.00	S89°05'17"W
L56	51.10	S57°26'44"E
L57	51.10	S57°26'44"E
L58	24.14	N89°05'17"E
L59	24.31	N00°41'16"W

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CH. BRG.
C1	34.09	30.00	32.29	N59°32'31"W
C2	38.00	30.00	35.51	S53°04'15"W
C8	124.82	188.00	122.54	N26°35'15"W
C9	121.48	588.00	121.27	N51°31'36"W
C10	126.44	612.00	126.22	S51°31'36"E
C11	143.55	212.00	140.83	S26°12'33"E
C12	76.91	188.00	76.38	N69°09'56"W
C13	90.87	212.00	90.18	N69°43'30"W

05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. \_\_\_\_\_, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN) SS  
WAUKESHA COUNTY)

I, CHRISTOPHER JACKSON, A PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED, MAPPED AND DIVIDED A REDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. \_\_\_\_\_, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE SAID SOUTHWEST 1/4 OF SECTION 29; THENCE N 87°50'13" E ALONG THE NORTH LINE OF SAID 1/4 SECTION 55.02 FEET TO THE EAST RIGHT-OF-WAY LINE OF C.T.H. Y; THENCE S 00°41'16" E ALONG SAID EAST RIGHT-OF-WAY LINE 309.86 FEET TO THE POINT OF BEGINNING; THENCE N 89°18'43" E 505.50 FEET; THENCE S 57°26'44" E 43.80 FEET; THENCE 117.14 FEET ALONG THE ARC OF A CURVE, WHOSE RADIUS IS 567.00 FEET, WHOSE CENTER LIES TO THE SOUTH AND WHOSE CHORD BEARS S 51°31'36" E, 116.94 FEET; THENCE S 45°36'29" E 113.24 FEET; THENCE 83.89 FEET ALONG THE ARC OF A CURVE, WHOSE RADIUS IS 107.00 FEET, WHOSE CENTER LIES TO THE SOUTHWEST AND WHOSE CHORD BEARS S 23°08'52" E, 81.76 FEET; THENCE S 00°41'16" E 136.84 FEET; THENCE S 47°36'36" E 55.00 FEET; THENCE S 42°23'24" W 55.89 FEET; THENCE S 00°41'16" E 273.48 FEET TO THE NORTH RIGHT-OF-WAY LINE OF S.T.H. 18; THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE S 89°05'17" W 207.00 FEET; THENCE S 00°41'16" E 6.50 FEET; THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE S 89°05'17" W 308.95 FEET; THENCE CONTINUING ALONG SAID NORTH RIGHT-OF-WAY LINE N 86°31'08" W 10.72 FEET; THENCE CONTINUING ALONG SAID NORTH RIGHT-OF-WAY LINE S 89°05'33" W 42.43 FEET; THENCE CONTINUING ALONG SAID NORTH RIGHT-OF-WAY LINE N 77°47'41" W 155.86 TO THE EAST RIGHT-OF-WAY LINE OF C.T.H. Y; THENCE ALONG SAID EAST RIGHT-OF-WAY LINE N 17°23'16" W 87.00 FEET; THENCE CONTINUING ALONG SAID EAST RIGHT-OF-WAY LINE N 00°41'16" W 632.09 FEET TO THE POINT OF BEGINNING.

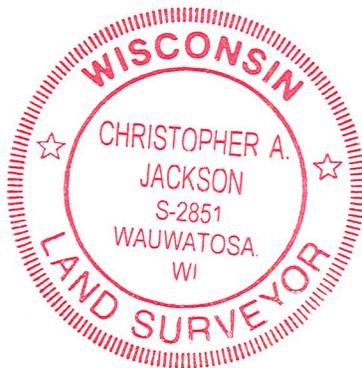
CONTAINING 531,174 SQUARE FEET OR 12.194 ACRES MORE OR LESS

THAT I HAVE MADE SUCH SURVEY, MAP AND REDIVISION BY THE DIRECTION OF POPLAR CREEK CLUB, LLC, 20300 BLUEMOUND, LLC, 20290 BLUEMOUND, LLC, 20150 BLUEMOUND, LLC, POPLAR CREEK CLUB II, LLC, OWNERS OF SAID LAND.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236 OF THE STATUTES OF THE STATE OF WISCONSIN AND THE REGULATIONS OF THE TOWN OF BROOKFIELD AND THE LAND DIVISION AND PLATTING REGULATIONS OF WAUKESHA COUNTY IN SURVEYING AND MAPPING THE SAME.

DATED THIS 10 DAY OF MARCH, 2023.



  
CHRISTOPHER A. JACKSON  
PROFESSIONAL LAND SURVEYOR, S-2851  
STATE OF WISCONSIN

05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023

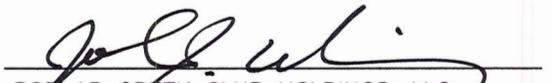
# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. \_\_\_\_\_, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## CORPORATE OWNER'S CERTIFICATE

POPLAR CREEK CLUB, LLC, A LIMITED LIABILITY CORPORATION ORGANIZED UNDER THE LAWS OF THE STATE OF WISCONSIN AS OWNER, DOES HEREBY CERTIFY THAT SAID COMPANY CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, MAPPED AND DIVIDED AS REPRESENTED ON THIS MAP. I ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE TOWN OF BROOKFIELD, WAUKESHA COUNTY AND THE CITY OF WAUKESHA FOR APPROVAL.

IN WITNESS WHEREOF, POPLAR CREEK CLUB, LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY POPLAR CREEK CLUB HOLDINGS, LLC, BY WIMMER BROTHERS REALTY, INC., MANAGER, BY JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT AND ITS CORPORATE SEAL TO BE AFFIXED THIS 30<sup>th</sup> DAY OF March, 2023.

  
POPLAR CREEK CLUB HOLDINGS, LLC  
WIMMER BROTHERS REALTY, INC., MANAGER  
JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT

STATE OF WISCONSIN) SS  
WAUKESHA COUNTY)

PERSONALLY CAME BEFORE ME THIS 30<sup>th</sup> DAY OF March, 2023, THE ABOVE JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT OF WIMMER BROTHERS REALTY, INC., MANAGER OF POPLAR CREEK CLUB HOLDINGS, LLC, TO ME KNOWN TO BE THE MANAGING MEMBER OF POPLAR CREEK CLUB, LLC AND THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

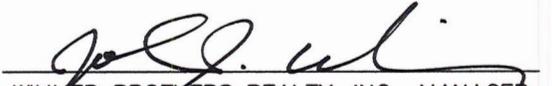
**DAVID T. WIMMER  
NOTARY PUBLIC  
STATE OF WISCONSIN**

  
NOTARY PUBLIC, STATE OF WISCONSIN  
MY COMMISSION EXPIRES is permanent

## CORPORATE OWNER'S CERTIFICATE

20300 BLUEMOUND, LLC, A LIMITED LIABILITY CORPORATION ORGANIZED UNDER THE LAWS OF THE STATE OF WISCONSIN AS OWNER, DOES HEREBY CERTIFY THAT SAID COMPANY CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, MAPPED AND DIVIDED AS REPRESENTED ON THIS MAP. I ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE TOWN OF BROOKFIELD, WAUKESHA COUNTY AND THE CITY OF WAUKESHA FOR APPROVAL.

IN WITNESS WHEREOF, 20300 BLUEMOUND, LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY WIMMER BROTHERS REALTY, INC. MANAGER, BY JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT AND ITS CORPORATE SEAL TO BE AFFIXED THIS 30<sup>th</sup> DAY OF March, 2023.

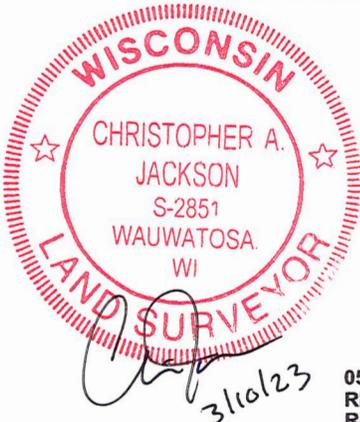
  
WIMMER BROTHERS REALTY, INC., MANAGER  
JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT

STATE OF WISCONSIN) SS  
WAUKESHA COUNTY)

PERSONALLY CAME BEFORE ME THIS 30<sup>th</sup> DAY OF March, 2023, THE ABOVE JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT OF WIMMER BROTHERS REALTY, INC., TO ME KNOWN TO BE THE MANAGER OF 20300 BLUEMOUND, LLC AND THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

**DAVID T. WIMMER  
NOTARY PUBLIC  
STATE OF WISCONSIN**

  
NOTARY PUBLIC, STATE OF WISCONSIN  
MY COMMISSION EXPIRES is permanent



05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023

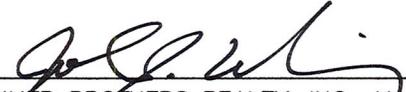
# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. \_\_\_\_\_, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## CORPORATE OWNER'S CERTIFICATE

20290 BLUEMOUND, LLC, A LIMITED LIABILITY CORPORATION ORGANIZED UNDER THE LAWS OF THE STATE OF WISCONSIN AS OWNER, DOES HEREBY CERTIFY THAT SAID COMPANY CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, MAPPED AND DIVIDED AS REPRESENTED ON THIS MAP. I ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE TOWN OF BROOKFIELD, WAUKESHA COUNTY AND THE CITY OF WAUKESHA FOR APPROVAL.

IN WITNESS WHEREOF, 20290 BLUEMOUND, LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY WIMMER BROTHERS REALTY, INC. MANAGER, BY JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT AND ITS CORPORATE SEAL TO BE AFFIXED THIS 30<sup>th</sup> DAY OF March, 2023.

  
WIMMER BROTHERS REALTY, INC., MANAGER  
JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT

STATE OF WISCONSIN) SS  
WAUKESHA COUNTY)

PERSONALLY CAME BEFORE ME THIS 30<sup>th</sup> DAY OF March, 2023, THE ABOVE JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT OF WIMMER BROTHERS REALTY, INC., TO ME KNOWN TO BE THE MANAGER OF 20290 BLUEMOUND, LLC AND THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

**DAVID T. WIMMER**  
**NOTARY PUBLIC**  
**STATE OF WISCONSIN**

  
NOTARY PUBLIC, STATE OF WISCONSIN  
MY COMMISSION EXPIRES is permanent

## CORPORATE OWNER'S CERTIFICATE

20150 BLUEMOUND, LLC, A LIMITED LIABILITY CORPORATION ORGANIZED UNDER THE LAWS OF THE STATE OF WISCONSIN AS OWNER, DOES HEREBY CERTIFY THAT SAID COMPANY CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, MAPPED AND DIVIDED AS REPRESENTED ON THIS MAP. I ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE TOWN OF BROOKFIELD, WAUKESHA COUNTY AND THE CITY OF WAUKESHA FOR APPROVAL.

IN WITNESS WHEREOF, 20150 BLUEMOUND, LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY WIMMER BROTHERS REALTY, INC. MANAGER, BY JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT AND ITS CORPORATE SEAL TO BE AFFIXED THIS 30<sup>th</sup> DAY OF March, 2023.

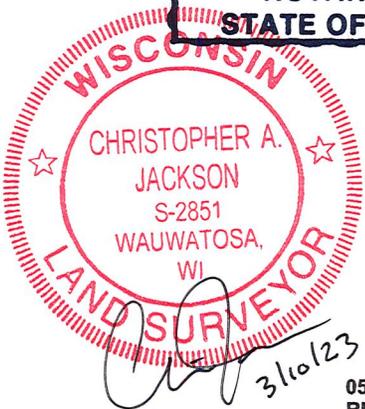
  
WIMMER BROTHERS REALTY, INC., MANAGER  
JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT

STATE OF WISCONSIN) SS  
WAUKESHA COUNTY)

PERSONALLY CAME BEFORE ME THIS 30<sup>th</sup> DAY OF March, 2023, THE ABOVE JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT OF WIMMER BROTHERS REALTY, INC., TO ME KNOWN TO BE THE MANAGER OF 20150 BLUEMOUND, LLC AND THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

**DAVID T. WIMMER**  
**NOTARY PUBLIC**  
**STATE OF WISCONSIN**

  
NOTARY PUBLIC, STATE OF WISCONSIN  
MY COMMISSION EXPIRES is permanent



05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. \_\_\_\_\_, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## CORPORATE OWNER'S CERTIFICATE

POPLAR CREEK CLUB II, LLC, A LIMITED LIABILITY CORPORATION ORGANIZED UNDER THE LAWS OF THE STATE OF WISCONSIN AS OWNER, DOES HEREBY CERTIFY THAT SAID COMPANY CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, MAPPED AND DIVIDED AS REPRESENTED ON THIS MAP. I ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE TOWN OF BROOKFIELD, WAUKESHA COUNTY AND THE CITY OF WAUKESHA FOR APPROVAL.

IN WITNESS WHEREOF, POPLAR CREEK CLUB II, LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY WIMMER BROTHERS REALTY, INC. MANAGER, BY JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT AND ITS CORPORATE SEAL TO BE AFFIXED THIS 30<sup>th</sup> DAY OF March, 2023.

STATE OF WISCONSIN) SS  
WAUKESHA COUNTY)

[Signature]  
WIMMER BROTHERS REALTY, INC., MANAGER  
JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT

PERSONALLY CAME BEFORE ME THIS 30<sup>th</sup> DAY OF March, 2023, THE ABOVE JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT OF WIMMER BROTHERS REALTY, INC., TO ME KNOWN TO BE THE MANAGER OF POPLAR CREEK CLUB II, LLC AND THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

**DAVID T. WIMMER  
NOTARY PUBLIC  
STATE OF WISCONSIN**

[Signature]  
NOTARY PUBLIC, STATE OF WISCONSIN  
MY COMMISSION EXPIRES is permanent

## CONSENT OF CORPORATE MORTGAGEE CERTIFICATE

ASSOCIATED BANK, A NATIONAL ASSOCIATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, MORTGAGEE OF THE ABOVE DESCRIBED LAND, DOES HEREBY CONSENT TO THE SURVEYING, DIVIDING AND MAPPING OF THE LAND DESCRIBED ON THIS MAP AND DOES HEREBY CONSENT TO THE ABOVE CERTIFICATION OF OWNERS

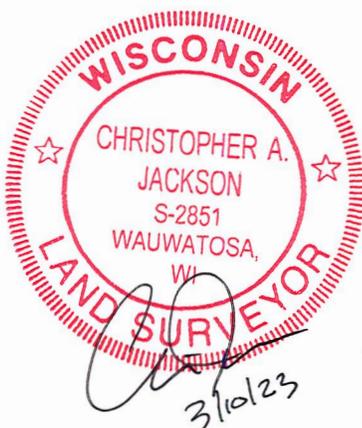
IN WITNESS WHEREOF, THE SAID ASSOCIATED BANK, NATIONAL ASSOCIATION, HAS CAUSED THESE PRESENTS TO BE SIGNED BY Ryan Krombach, AT Milwaukee, WISCONSIN, THIS 5 DAY OF April, 2023.

STATE OF WISCONSIN) SS  
MILWAUKEE COUNTY)

BY: [Signature]  
RYAN KROMBACH  
VICE PRESIDENT

PERSONALLY CAME BEFORE ME ON April 5, 2023, BY Ryan Krombach, IN HIS/HER CAPACITY AS Vice President OF ASSOCIATED BANK, NATIONAL ASSOCIATION, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

[Signature]  
NOTARY PUBLIC State of Wisconsin  
STATE OF WISCONSIN  
MY COMMISSION EXPIRES: is permanent



**DAVID T. WIMMER  
NOTARY PUBLIC  
STATE OF WISCONSIN**

05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. \_\_\_\_\_, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## CONSENT OF CORPORATE MORTGAGEE CERTIFICATE

WELLS FARGO BANK, NATIONAL ASSOCIATION, AS TRUSTEE FOR THE REGISTERED HOLDERS OF BANC OF AMERICA MERRILL LYNCH COMMERCIAL MORTGAGE INC., MULTIFAMILY MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2021-K124

MORTGAGEE OF THE ABOVE DESCRIBED LAND, DOES HEREBY CONSENT TO THE SURVEYING, DIVIDING AND MAPPING OF THE LAND DESCRIBED ON THIS MAP AND DOES HEREBY CONSENT TO THE ABOVE CERTIFICATION OF OWNERS

IN WITNESS WHEREOF, THE SAID WELLS FARGO BANK, NATIONAL ASSOCIATION, AS TRUSTEE FOR THE REGISTERED HOLDERS OF BANC OF AMERICA MERRILL LYNCH COMMERCIAL MORTGAGE INC., MULTIFAMILY MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2021-K124, HAS CAUSED THESE PRESENTS TO BE SIGNED BY Paul Cairns, AT Minneapolis, MINNESOTA, THIS 14<sup>th</sup> DAY OF June, 2023.

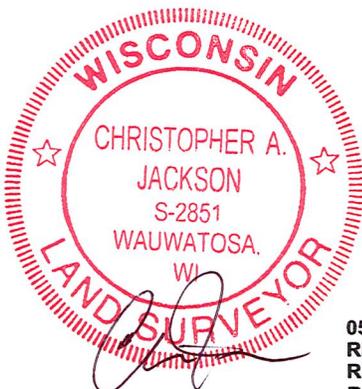
BY: WELLS FARGO, NATIONAL ASSOCIATION,  
AS MASTER SERVICER  
BY: NORTHMARQ CAPITAL, LLC, A MINNESOTA LIMITED LIABILITY COMPANY,  
AS SUB-SERVICER  
BY: [Signature]  
ITS: Senior Vice President

STATE OF MINNESOTA)  
Hennepin COUNTY) SS

PERSONALLY CAME BEFORE ME ON June 14, 2023, BY Paul Cairns, IN HIS/HER CAPACITY AS Senior Vice President OF NORTHMARQ CAPITAL, LLC, A MINNESOTA LIMITED LIABILITY COMPANY, AS SUB-SERVICER OF WELLS FARGO, NATIONAL ASSOCIATION, AS MASTER SERVICER OF WELLS FARGO BANK, NATIONAL ASSOCIATION, AS TRUSTEE FOR THE REGISTERED HOLDERS OF BANC OF AMERICA MERRILL LYNCH COMMERCIAL MORTGAGE INC., MULTIFAMILY MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2021-K124, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.



[Signature]  
NOTARY PUBLIC Kristine Brost  
STATE OF MINNESOTA  
MY COMMISSION EXPIRES: 1/31/24



05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5433, LOT 1A AND LOT 2 OF CERTIFIED SURVEY MAP 4998, LOT 2 AND 3 OF CERTIFIED SURVEY MAP NO. 11512, OUTLOT 1 OF CERTIFIED SURVEY MAP 11798, PART OF PARCEL 2 OF CERTIFIED SURVEY MAP NO. 2974 AND LANDS, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

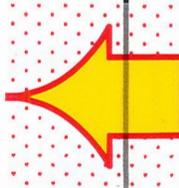
## PLANNING COMMISSION APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE TOWN OF BROOKFIELD ON THIS \_\_\_\_\_ DAY OF

\_\_\_\_\_, 20\_\_\_\_.

Keith Henderson  
KEITH HENDERSON - CHAIRPERSON

\_\_\_\_\_  
-CLERK



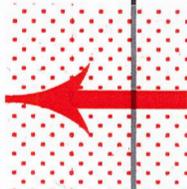
## TOWN BOARD APPROVAL

APPROVED BY THE TOWN OF BROOKFIELD, BOARD OF SUPERVISORS ON THIS \_\_\_\_\_ DAY OF

\_\_\_\_\_, 20\_\_\_\_.

Keith Henderson  
KEITH HENDERSON - CHAIRPERSON

\_\_\_\_\_  
-CLERK



## WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE

THE ABOVE, WHICH HAS BEEN FILED FOR APPROVAL AS REQUIRED BY CHAPTER 236 OF THE WISCONSIN STATE STATUTES, IS HEREBY APPROVED ON THIS 4<sup>th</sup> DAY OF April, 2023

Dale R. Shaver *by Pandra D. Oberen*

DALE R. SHAVER - DIRECTOR

## CITY OF WAUKESHA BOARD EXTRATERRITORIAL APPROVAL

RESOLVED THAT THE PLAT, IN THE TOWN OF BROOKFIELD, IS HEREBY APPROVED BY THE CITY OF WAUKESHA BOARD: PLAN COMMISSION

DATE: July 27, 2022

SIGNED: Shawn N. Reilly

SIGNED: Maria Pandazi  
MARIA PANDAZI  
PLAN COMMISSION SECRETARY

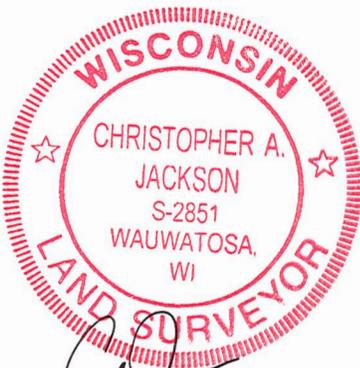
NAME: Shawn N. Reilly  
TITLE: Mayor

I HEREBY CERTIFY THAT THE FOREGOING IS A TRUE AND CORRECT COPY OF A RESOLUTION ADOPTED BY THE CITY BOARD OF THE CITY OF WAUKESHA:  
COUNCIL

DATE: August 2, 2022

SIGNED: Gina Kozlik

NAME: GINA KOZLIK  
TITLE: CLERK/TREASURER



Christopher A. Jackson  
3/10/23

05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023



# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

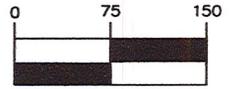
A REDIVISION OF OULOT 1 OF CERTIFIED SURVEY MAP NO. \_\_\_\_\_, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

ALL BEARINGS REFER TO THE NORTH LINE OF THE SOUTH WEST 1/4 OF SECTION 29-07-20 WITH HAS A WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE) (NAD27) BEARING OF N 87°50'13" E.

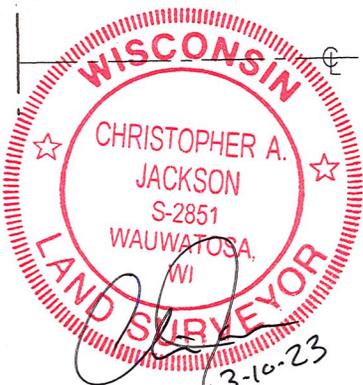
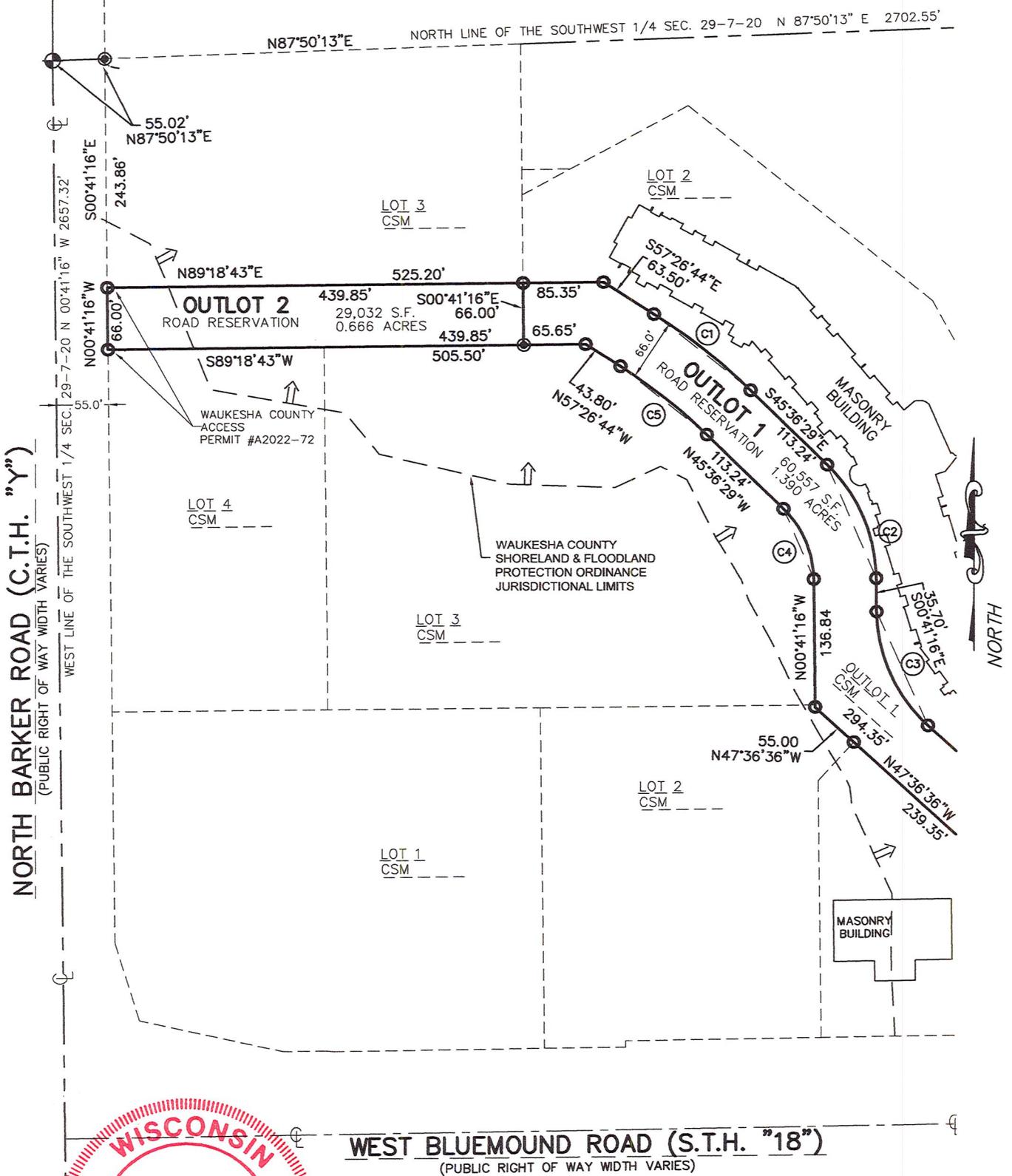
### LEGEND

- ⊙ INDICATES 1 INCH DIA. IRON PIPE, 18 INCHES IN LENGTH, WEIGHING 1.68 LBS PER LINEAL FOOT, SET.
- INDICATES 1" IRON PIPE FOUND UNLESS OTHERWISE NOTED.

### GRAPHIC SCALE



1 INCH = 150 FT.



05-03-2022  
 REVISED 09-02-2022  
 REVISED 11-30-2022  
 REVISED 03-10-2023

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

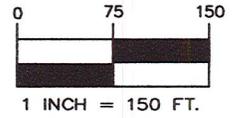
A REDIVISION OF OULOT 1 OF CERTIFIED SURVEY MAP NO. \_\_\_\_\_, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

ALL BEARINGS REFER TO THE NORTH LINE OF THE SOUTH WEST 1/4 OF SECTION 29-07-20 WITH HAS A WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE) (NAD27) BEARING OF N 87°50'13" E.

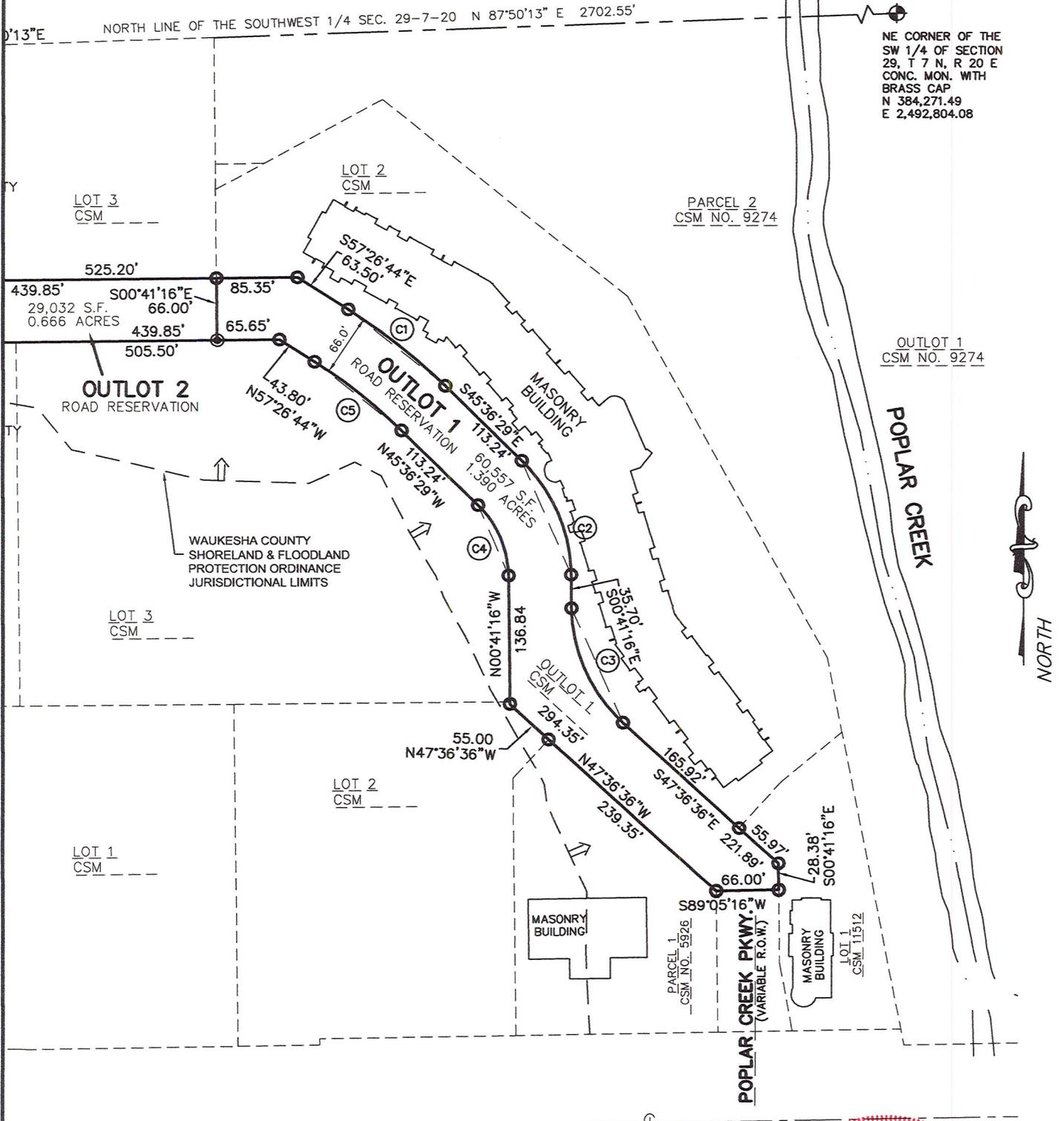
### LEGEND

- ⊙ INDICATES 1 INCH DIA. IRON PIPE, 18 INCHES IN LENGTH, WEIGHING 1.68 LBS PER LINEAL FOOT, SET.
- INDICATES 1" IRON PIPE FOUND UNLESS OTHERWISE NOTED.

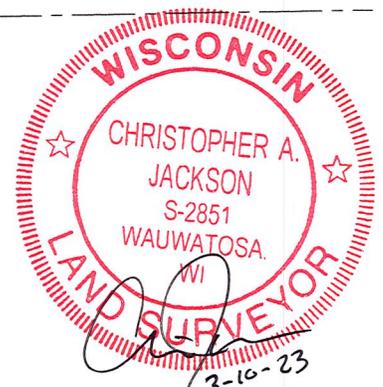
### GRAPHIC SCALE



1 INCH = 150 FT.



**WEST BLUEMOUND ROAD (S.T.H. "18")**  
(PUBLIC RIGHT OF WAY WIDTH VARIES)



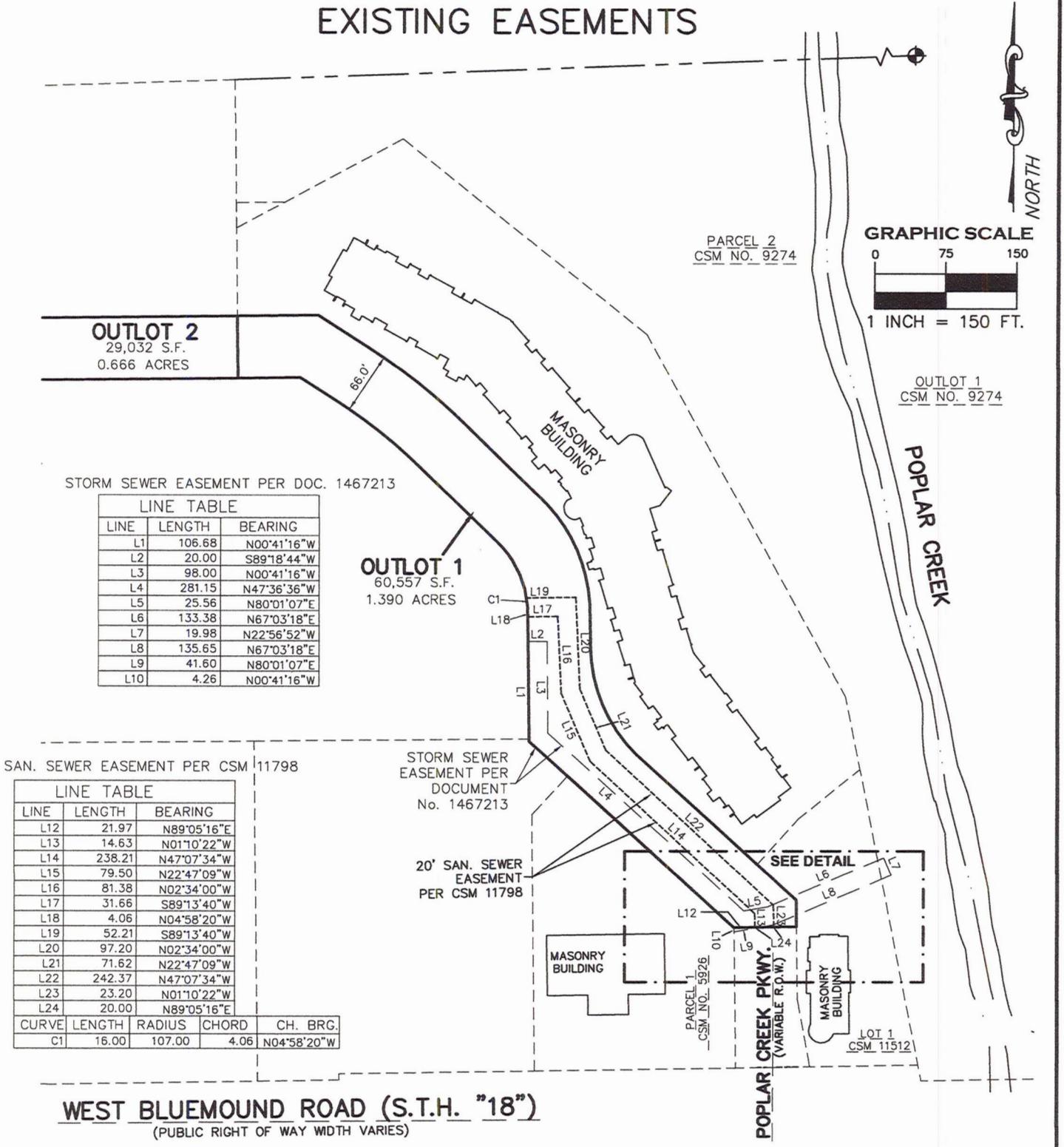
05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023

3-10-23

# CERTIFIED SURVEY MAP NO.

A REDIVISION OF OULOT 1 OF CERTIFIED SURVEY MAP NO. \_\_\_\_\_, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## EXISTING EASEMENTS



STORM SEWER EASEMENT PER DOC. 1467213

LINE	LENGTH	BEARING
L1	106.68	N00°41'16"W
L2	20.00	S89°18'44"W
L3	98.00	N00°41'16"W
L4	281.15	N47°36'36"W
L5	25.56	N80°01'07"E
L6	133.38	N67°03'18"E
L7	19.98	N22°56'52"W
L8	135.65	N67°03'18"E
L9	41.60	N80°01'07"E
L10	4.26	N00°41'16"W

SAN. SEWER EASEMENT PER CSM 11798

LINE	LENGTH	BEARING
L12	21.97	N89°05'16"E
L13	14.63	N01°10'22"W
L14	238.21	N47°07'34"W
L15	79.50	N22°47'09"W
L16	81.38	N02°34'00"W
L17	31.66	S89°13'40"W
L18	4.06	N04°58'20"W
L19	52.21	S89°13'40"W
L20	97.20	N02°34'00"W
L21	71.62	N22°47'09"W
L22	242.37	N47°07'34"W
L23	23.20	N01°10'22"W
L24	20.00	N89°05'16"E

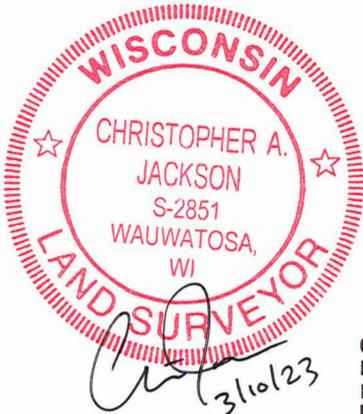
CURVE	LENGTH	RADIUS	CHORD	CH. BRG.
C1	16.00	107.00	4.06	N04°58'20"W

STORM SEWER EASEMENT PER DOCUMENT No. 1467213

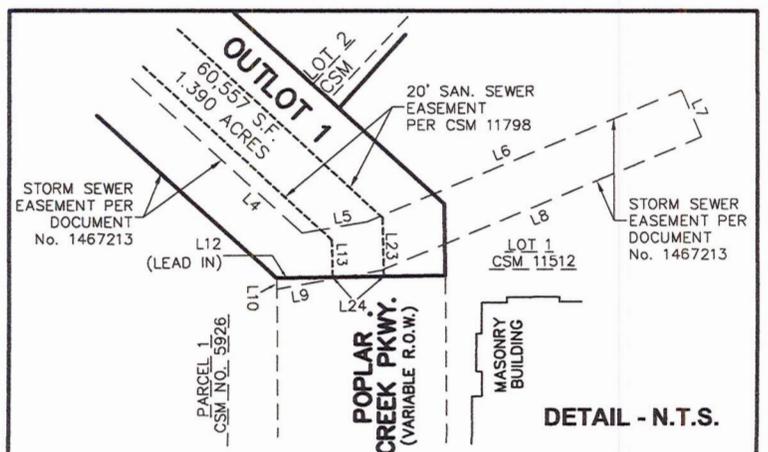
20' SAN. SEWER EASEMENT PER CSM 11798

SEE DETAIL

**WEST BLUEMOUND ROAD (S.T.H. "18")**  
(PUBLIC RIGHT OF WAY WIDTH VARIES)



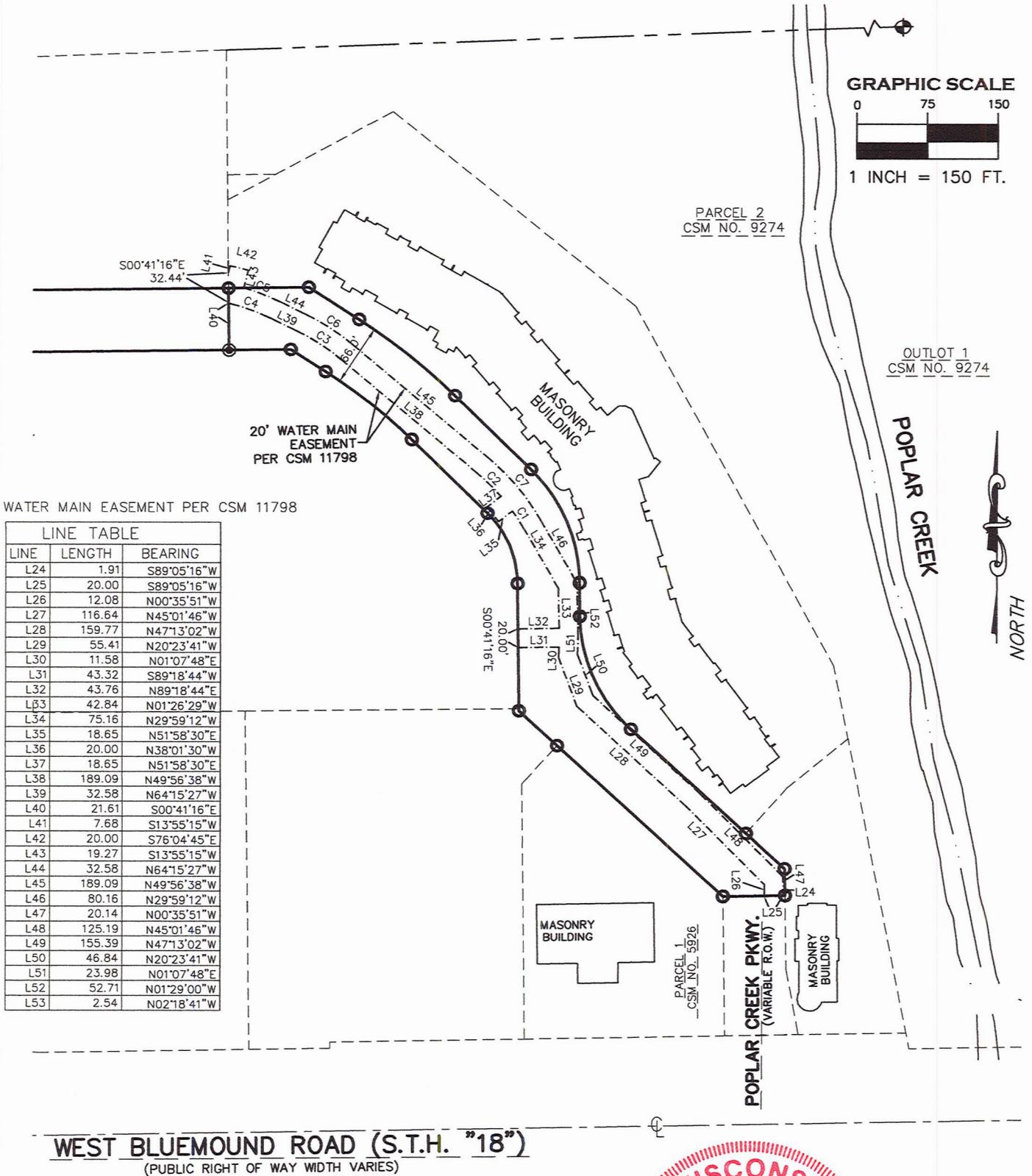
05-03-2022  
 REVISED 09-02-2022  
 REVISED 11-30-2022  
 REVISED 03-10-2023



# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF OULOT 1 OF CERTIFIED SURVEY MAP NO. \_\_\_\_\_, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## EXISTING EASEMENTS

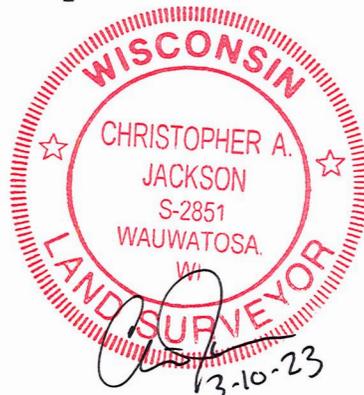


WATER MAIN EASEMENT PER CSM 11798

LINE	LENGTH	BEARING
L24	1.91	S89°05'16"W
L25	20.00	S89°05'16"W
L26	12.08	N00°35'51"W
L27	116.64	N45°01'46"W
L28	159.77	N47°13'02"W
L29	55.41	N20°23'41"W
L30	11.58	N01°07'48"E
L31	43.32	S89°18'44"W
L32	43.76	N89°18'44"E
L33	42.84	N01°26'29"W
L34	75.16	N29°59'12"W
L35	18.65	N51°58'30"E
L36	20.00	N38°01'30"W
L37	18.65	N51°58'30"E
L38	189.09	N49°56'38"W
L39	32.58	N64°15'27"W
L40	21.61	S00°41'16"E
L41	7.68	S13°55'15"W
L42	20.00	S76°04'45"E
L43	19.27	S13°55'15"W
L44	32.58	N64°15'27"W
L45	189.09	N49°56'38"W
L46	80.16	N29°59'12"W
L47	20.14	N00°35'51"W
L48	125.19	N45°01'46"W
L49	155.39	N47°13'02"W
L50	46.84	N20°23'41"W
L51	23.98	N01°07'48"E
L52	52.71	N01°29'00"W
L53	2.54	N02°18'41"W

WATER MAIN EASEMENT PER CSM 11798

CURVE	LENGTH	RADIUS	CHORD	CH. BRG.
C1	20.86	220.00	20.85	N22°20'24"E
C2	35.76	220.00	35.72	N10°54'09"E
C3	54.96	220.00	54.82	N57°06'02"W
C4	47.21	220.00	47.12	N70°24'19"W
C5	39.52	240.00	39.47	S12°11'14"E
C6	59.96	240.00	59.80	S57°06'02"E
C7	83.60	240.00	83.17	S39°57'55"E

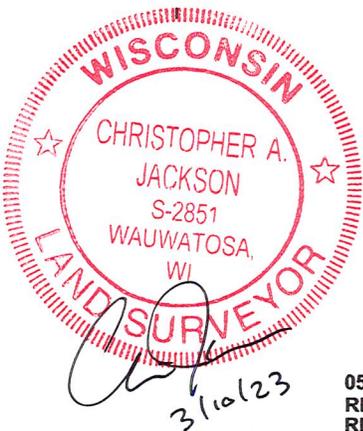
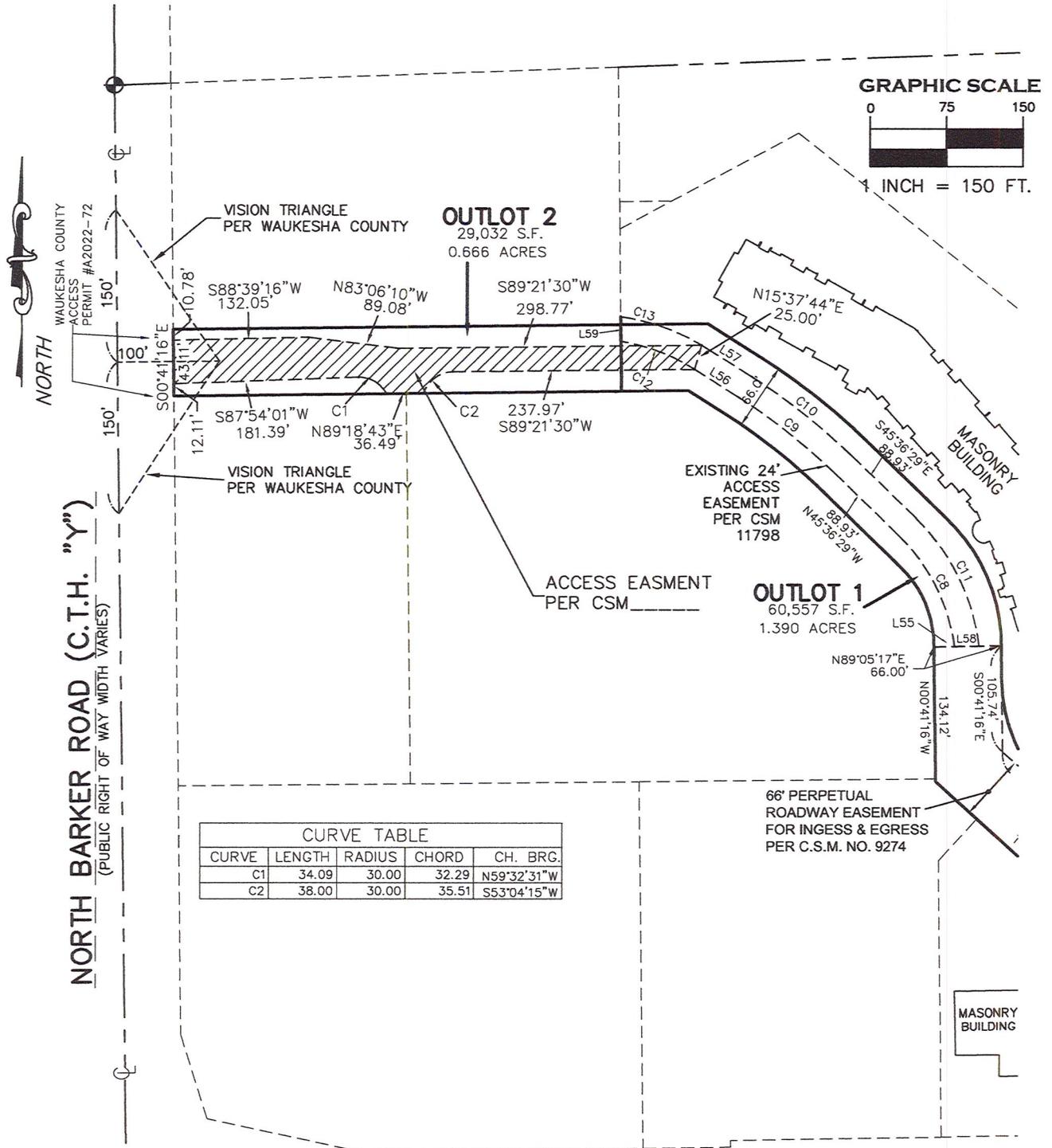


05-03-2022  
 REVISED 09-02-2022  
 REVISED 11-30-2022  
 REVISED 03-10-2023

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF OULOT 1 OF CERTIFIED SURVEY MAP NO. \_\_\_\_\_, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## ACCESS EASEMENTS



05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023

ACCESS EASEMENT PER CSM \_\_\_\_\_

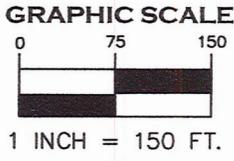
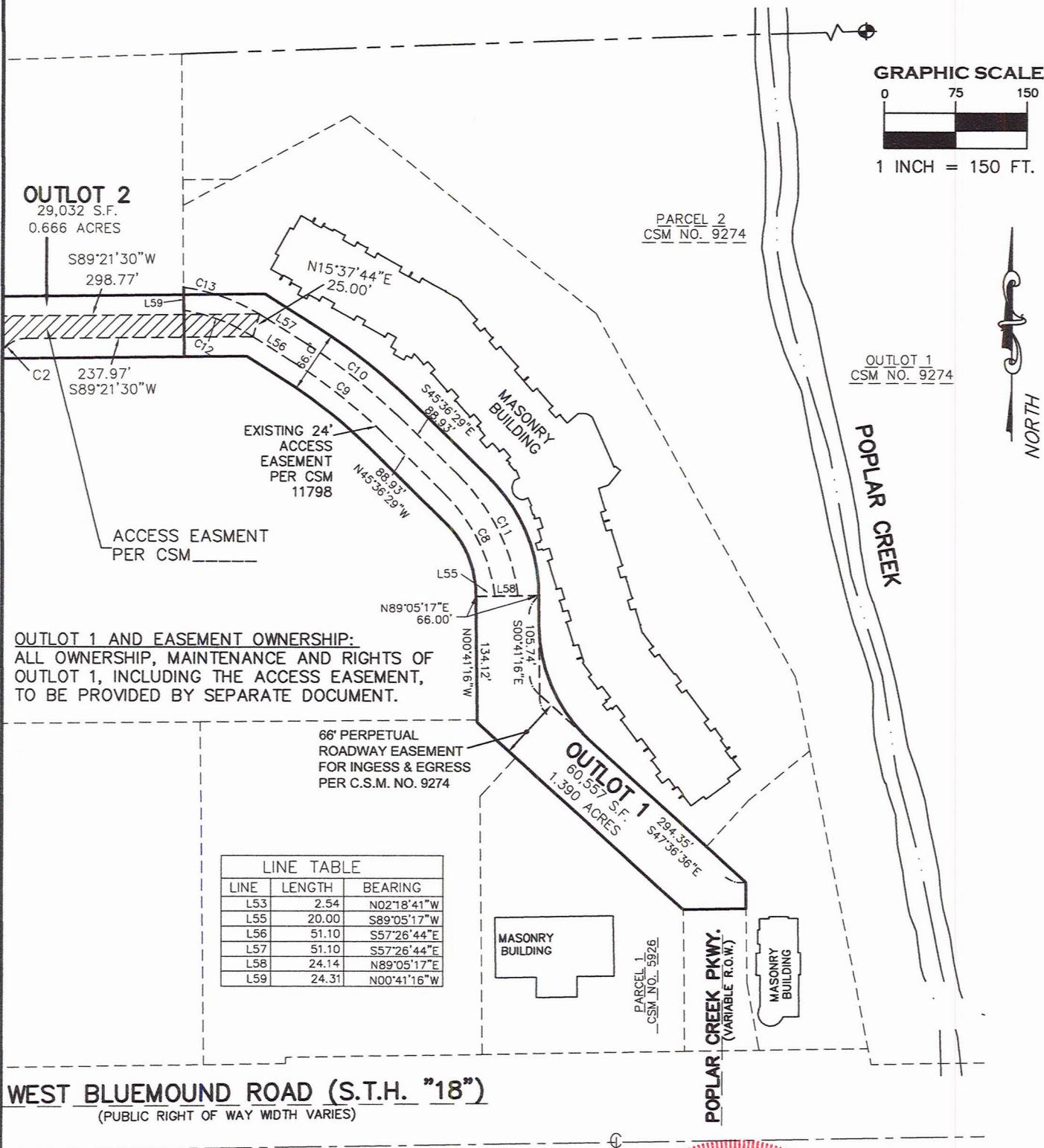
**OUTLOT 1 AND EASEMENT OWNERSHIP:**  
ALL OWNERSHIP, MAINTENANCE AND RIGHTS OF OUTLOT 1, INCLUDING THE ACCESS EASEMENT, TO BE PROVIDED BY SEPARATE DOCUMENT.

**VISION CORNER EASEMENT:**  
WITHIN THE AREA OF THE VISION CORNER EASEMENT, THE HEIGHT OF ALL PLANTINGS, BERMS, FENCING, SIGNS OR ANY OTHER STRUCTURE SHALL BE LIMITED TO 24 INCHES ABOVE THE INTERSECTION ELEVATION. NO ROADWAY ACCESS IS PERMITTED OVER THE VISION CORNERS FROM THE ADJACENT LOTS.

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF OULOT 1 OF CERTIFIED SURVEY MAP NO. \_\_\_\_\_, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## ACCESS EASEMENTS



**OUTLOT 2**  
29,032 S.F.  
0.666 ACRES

**PARCEL 2**  
CSM NO. 9274

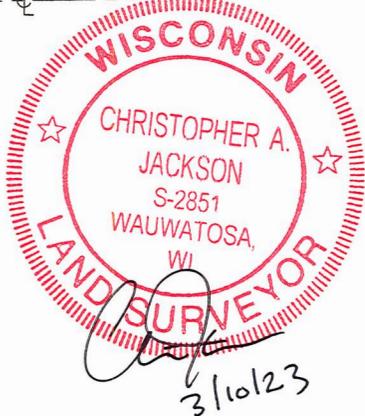
**OUTLOT 1**  
CSM NO. 9274

**OUTLOT 1 AND EASEMENT OWNERSHIP:**  
ALL OWNERSHIP, MAINTENANCE AND RIGHTS OF OUTLOT 1, INCLUDING THE ACCESS EASEMENT, TO BE PROVIDED BY SEPARATE DOCUMENT.

66' PERPETUAL ROADWAY EASEMENT FOR INGRESS & EGRESS PER C.S.M. NO. 9274

LINE TABLE		
LINE	LENGTH	BEARING
L53	2.54	N02°18'41"W
L55	20.00	S89°05'17"W
L56	51.10	S57°26'44"E
L57	51.10	S57°26'44"E
L58	24.14	N89°05'17"E
L59	24.31	N00°41'16"W

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CH. BRG.
C8	124.82	188.00	122.54	N26°35'15"W
C9	121.48	588.00	121.27	N51°31'36"W
C10	126.44	612.00	126.22	S51°31'36"E
C11	143.55	212.00	140.83	S26°12'33"E
C12	76.91	188.00	76.38	N69°09'56"W
C13	90.87	212.00	90.18	N69°43'30"W



05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF OULOT 1 OF CERTIFIED SURVEY MAP NO. \_\_\_\_\_, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN) SS  
WAUKESHA COUNTY)

I, CHRISTOPHER JACKSON, A PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED, MAPPED AND DIVIDED A REDIVISION OF OUTLOT 1 OF CERTIFIED SURVEY MAP NO. \_\_\_\_\_, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE SAID SOUTHWEST 1/4 OF SECTION 29; THENCE N 87°50'13" E ALONG THE NORTH LINE OF SAID 1/4 SECTION 55.02 FEET; THENCE S 00°41'16" E 243.86 FEET TO THE POINT OF BEGINNING; THENCE N 89°18'43" E 525.20 FEET; THENCE S 57°26'44" E 63.50 FEET; THENCE 130.78 FEET ALONG THE ARC OF A CURVE, WHOSE RADIUS IS 633.00 FEET, WHOSE CENTER LIES TO THE SOUTHWEST AND WHOSE CHORD BEARS S 51°31'36" E, 130.55 FEET; THENCE S 45°36'29" E 113.24 FEET; THENCE 135.63 FEET ALONG THE ARC OF A CURVE, WHOSE RADIUS IS 173.00 FEET, WHOSE CENTER LIES TO THE SOUTHWEST AND WHOSE CHORD BEARS S 23°08'52" E, 132.19 FEET; THENCE S 00°41'16" E 35.70 FEET; THENCE 136.76 FEET ALONG THE ARC OF A CURVE, WHOSE RADIUS IS 167.00 FEET, WHOSE CENTER LIES TO THE NORTHEAST AND WHOSE CHORD BEARS S 24°08'51" E, 132.97 FEET; THENCE S 47°36'36" E 221.89 FEET; THENCE S 00°41'16" E 28.38 FEET; THENCE S 89°05'16" W 66.00 FEET; THENCE N 47°36'36" W 294.35 FEET; THENCE N 00°41'16" W 136.84 FEET; THENCE 83.89 FEET ALONG THE ARC OF A CURVE, WHOSE RADIUS IS 107.00 FEET, WHOSE CENTER LIES TO THE SOUTHWEST AND WHOSE CHORD BEARS N 23°08'52" W, 81.76 FEET; THENCE N 45°36'29" W 113.24 FEET; THENCE 117.14 FEET ALONG THE ARC OF A CURVE, WHOSE RADIUS IS 567.00 FEET, WHOSE CENTER LIES TO THE SOUTHWEST AND WHOSE CHORD BEARS N 51°31'36" W, 116.94 FEET; THENCE N 57°26'44" W 43.80 FEET; THENCE S 89°18'43" W 505.50 FEET TO THE EAST RIGHT-OF-WAY LINE OF C.T.H. Y; THENCE ALONG SAID EAST RIGHT-OF-WAY LINE N 00°41'16" W 66.00 FEET TO THE POINT OF BEGINNING.

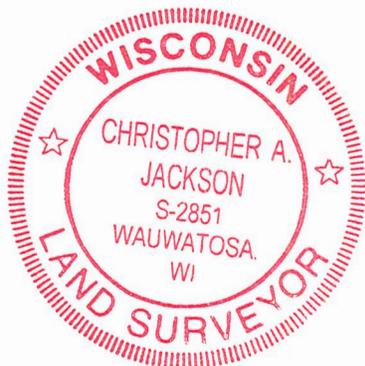
CONTAINING 89,589 SQUARE FEET OR 2.057 ACRES MORE OR LESS

THAT I HAVE MADE SUCH SURVEY, MAP AND REDIVISION BY THE DIRECTION OF POPLAR CREEK CLUB, LLC AND POPLAR CREEK CLUB II, LLC, OWNERS OF SAID LAND.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236 OF THE STATUTES OF THE STATE OF WISCONSIN AND THE REGULATIONS OF THE TOWN OF BROOKFIELD AND THE LAND DIVISION AND PLATTING REGULATIONS OF WAUKESHA COUNTY IN SURVEYING AND MAPPING THE SAME.

DATED THIS 10 DAY OF March, 2023.



  
CHRISTOPHER A. JACKSON  
PROFESSIONAL LAND SURVEYOR, S-2851  
STATE OF WISCONSIN

05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023

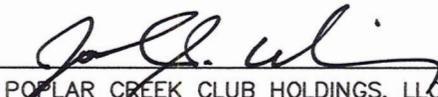
# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF OULOT 1 OF CERTIFIED SURVEY MAP NO. \_\_\_\_\_, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## CORPORATE OWNER'S CERTIFICATE

POPLAR CREEK CLUB, LLC, A LIMITED LIABILITY CORPORATION ORGANIZED UNDER THE LAWS OF THE STATE OF WISCONSIN AS OWNER, DOES HEREBY CERTIFY THAT SAID COMPANY CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, MAPPED AND DIVIDED AS REPRESENTED ON THIS MAP. I ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE TOWN OF BROOKFIELD, WAUKESHA COUNTY AND THE CITY OF WAUKESHA FOR APPROVAL.

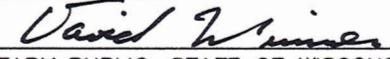
IN WITNESS WHEREOF, POPLAR CREEK CLUB, LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY POPLAR CREEK CLUB HOLDINGS, LLC, BY WIMMER BROTHERS REALTY, INC., MANAGER, BY JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT AND ITS CORPORATE SEAL TO BE AFFIXED THIS 30<sup>th</sup> DAY OF March, 2023.

  
POPLAR CREEK CLUB HOLDINGS, LLC  
WIMMER BROTHERS REALTY, INC., MANAGER  
JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT

STATE OF WISCONSIN) SS  
WAUKESHA COUNTY)

PERSONALLY CAME BEFORE ME THIS 30<sup>th</sup> DAY OF March, 2023, THE ABOVE JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT OF WIMMER BROTHERS REALTY, INC., MANAGER OF POPLAR CREEK CLUB HOLDINGS, LLC, TO ME KNOWN TO BE THE MANAGING MEMBER OF POPLAR CREEK CLUB, LLC AND THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

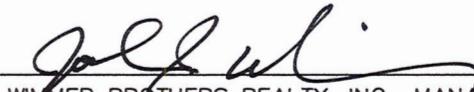
**DAVID T. WIMMER  
NOTARY PUBLIC  
STATE OF WISCONSIN**

  
NOTARY PUBLIC, STATE OF WISCONSIN  
MY COMMISSION ~~EXPIRES~~ is permanent

## CORPORATE OWNER'S CERTIFICATE

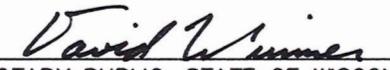
POPLAR CREEK CLUB II, LLC, A LIMITED LIABILITY CORPORATION ORGANIZED UNDER THE LAWS OF THE STATE OF WISCONSIN AS OWNER, DOES HEREBY CERTIFY THAT SAID COMPANY CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, MAPPED AND DIVIDED AS REPRESENTED ON THIS MAP. I ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE TOWN OF BROOKFIELD, WAUKESHA COUNTY AND THE CITY OF WAUKESHA FOR APPROVAL.

IN WITNESS WHEREOF, POPLAR CREEK CLUB II, LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY WIMMER BROTHERS REALTY, INC. MANAGER, BY JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT AND ITS CORPORATE SEAL TO BE AFFIXED THIS 30<sup>th</sup> DAY OF March, 2023.

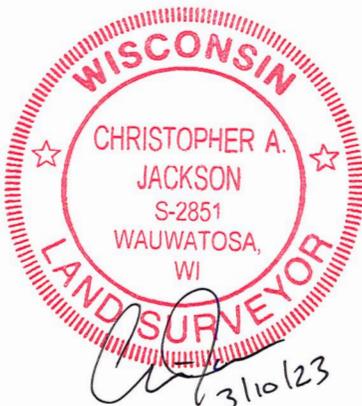
  
WIMMER BROTHERS REALTY, INC., MANAGER  
JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT

STATE OF WISCONSIN) SS  
WAUKESHA COUNTY)

PERSONALLY CAME BEFORE ME THIS 30<sup>th</sup> DAY OF March, 2023, THE ABOVE JOHN J. WIMMER, EXECUTIVE VICE PRESIDENT OF WIMMER BROTHERS REALTY, INC. TO ME KNOWN TO BE THE MANAGER OF POPLAR CREEK CLUB II, LLC AND THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

  
NOTARY PUBLIC, STATE OF WISCONSIN  
MY COMMISSION ~~EXPIRES~~ is permanent

**DAVID T. WIMMER  
NOTARY PUBLIC  
STATE OF WISCONSIN**



05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF OULOT 1 OF CERTIFIED SURVEY MAP NO. \_\_\_\_\_, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## CONSENT OF CORPORATE MORTGAGEE CERTIFICATE

ASSOCIATED BANK, A NATIONAL ASSOCIATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, MORTGAGEE OF THE ABOVE DESCRIBED LAND, DOES HEREBY CONSENT TO THE SURVEYING, DIVIDING AND MAPPING OF THE LAND DESCRIBED ON THIS MAP AND DOES HEREBY CONSENT TO THE ABOVE CERTIFICATION OF OWNERS

IN WITNESS WHEREOF, THE SAID ASSOCIATED BANK, NATIONAL ASSOCIATION, HAS CAUSED THESE PRESENTS TO BE SIGNED BY Ryan Krombach, AT Milwaukee, WISCONSIN, THIS 13 DAY OF June, 2023.

BY: [Signature]  
RYAN KROMBACH  
VICE PRESIDENT

STATE OF WISCONSIN)  
MILWAUKEE COUNTY) SS

PERSONALLY CAME BEFORE ME ON June 13, 2023, BY Ryan Krombach, IN HIS/HER CAPACITY AS Vice President OF ASSOCIATED BANK, NATIONAL ASSOCIATION, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

**DAVID T. WIMMER**  
**NOTARY PUBLIC**  
**STATE OF WISCONSIN**

[Signature]  
NOTARY PUBLIC  
STATE OF WISCONSIN  
MY COMMISSION EXPIRES: 1/31/2024

## CONSENT OF CORPORATE MORTGAGEE CERTIFICATE

WELLS FARGO BANK, NATIONAL ASSOCIATION, AS TRUSTEE FOR THE REGISTERED HOLDERS OF BANC OF AMERICA MERRILL LYNCH COMMERCIAL MORTGAGE INC., MULTIFAMILY MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2021-K124

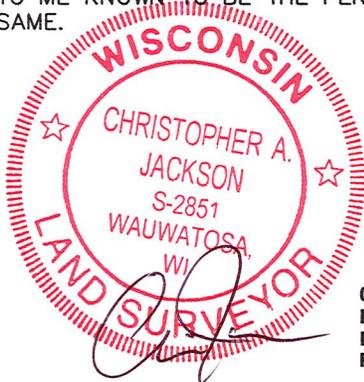
MORTGAGEE OF THE ABOVE DESCRIBED LAND, DOES HEREBY CONSENT TO THE SURVEYING, DIVIDING AND MAPPING OF THE LAND DESCRIBED ON THIS MAP AND DOES HEREBY CONSENT TO THE ABOVE CERTIFICATION OF OWNERS

IN WITNESS WHEREOF, THE SAID WELLS FARGO BANK, NATIONAL ASSOCIATION, AS TRUSTEE FOR THE REGISTERED HOLDERS OF BANC OF AMERICA MERRILL LYNCH COMMERCIAL MORTGAGE INC., MULTIFAMILY MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2021-K124, HAS CAUSED THESE PRESENTS TO BE SIGNED BY Paul Cairns, AT Minneapolis, MINNESOTA, THIS 14<sup>th</sup> DAY OF June, 2023.

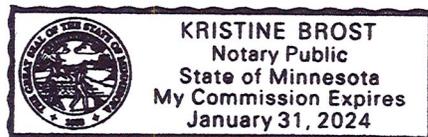
BY: WELLS FARGO, NATIONAL ASSOCIATION,  
AS MASTER SERVICER  
BY: NORTHMARQ CAPITAL, LLC, A MINNESOTA LIMITED LIABILITY COMPANY,  
AS SUB-SERVICER  
BY: [Signature]  
ITS: Senior Vice President

STATE OF MINNESOTA)  
Hennepin COUNTY) SS

PERSONALLY CAME BEFORE ME ON June 14, 2023, BY Paul Cairns, IN HIS/HER CAPACITY AS Senior Vice President OF NORTHMARQ CAPITAL, LLC, A MINNESOTA LIMITED LIABILITY COMPANY, AS SUB-SERVICER OF WELLS FARGO, NATIONAL ASSOCIATION, AS MASTER SERVICER OF WELLS FARGO BANK, NATIONAL ASSOCIATION, AS TRUSTEE FOR THE REGISTERED HOLDERS OF BANC OF AMERICA MERRILL LYNCH COMMERCIAL MORTGAGE INC., MULTIFAMILY MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2021-K124, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.



05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023



[Signature]  
NOTARY PUBLIC Kristine Brost  
STATE OF MINNESOTA  
MY COMMISSION EXPIRES: 1/31/2024

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

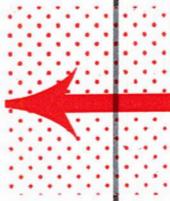
A REDIVISION OF OULOT 1 OF CERTIFIED SURVEY MAP NO. \_\_\_\_\_, BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

## PLANNING COMMISSION APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE TOWN OF BROOKFIELD ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

Keith Henderson  
KEITH HENDERSON - CHAIRPERSON

\_\_\_\_\_  
-CLERK

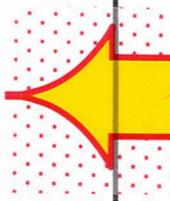


## TOWN BOARD APPROVAL

APPROVED BY THE TOWN OF BROOKFIELD, BOARD OF SUPERVISORS ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

Keith Henderson  
KEITH HENDERSON - CHAIRPERSON

\_\_\_\_\_  
-CLERK



## WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE

THE ABOVE, WHICH HAS BEEN FILED FOR APPROVAL AS REQUIRED BY CHAPTER 236 OF THE WISCONSIN STATE STATUTES, IS HEREBY APPROVED ON THIS 4th DAY OF April, 2023

Dale R. Shaver  
DALE R. SHAVER - DIRECTOR

## CITY OF WAUKESHA BOARD EXTRATERRITORIAL APPROVAL

RESOLVED THAT THE PLAT, IN THE TOWN OF BROOKFIELD, IS HEREBY APPROVED BY THE CITY OF WAUKESHA BOARD: PLANNING COMMISSION

DATE: July 27, 2022

SIGNED: Shawn N. Reilly

SIGNED: Maria Pandazi  
MARIA PANDAZI  
PLANNING COMMISSION SECRETARY

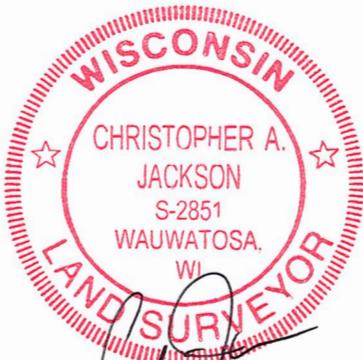
NAME: Shawn N. Reilly  
TITLE: Mayor

I HEREBY CERTIFY THAT THE FOREGOING IS A TRUE AND CORRECT COPY OF A RESOLUTION ADOPTED BY THE CITY BOARD OF THE CITY OF WAUKESHA: COUNCIL

DATE: August 2, 2022

SIGNED: Gina Kozlik

NAME: Gina Kozlik  
TITLE: CLERK/TREASURER



3/6/23

05-03-2022  
REVISED 09-02-2022  
REVISED 11-30-2022  
REVISED 03-10-2023