

**Town of Brookfield**  
645 N. Janacek Road  
Brookfield, WI 53045  
(P) 262-796-3788  
(F) 262-796-0339



## MEETING NOTICE

Meeting will be held at the  
Town of Brookfield Municipal Building, Eric Grant Room  
645 N. Janacek Road, Brookfield, WI

Wednesday, April 8, 2026

Architectural Review Committee

6:00 p.m.

## AGENDA

1. Call to Order.
2. Meeting Notices.
3. Approval of Agenda.
4. Approval of Minutes
  - a. March 11, 2026 Meeting Minutes
5. Old Business: None.
6. New Business:
  - a. Review and possible action on a request for tenant panels on the existing Galleria West multi-tenant sign, located at 18900 W. Bluemound Road. Innovative Signs (applicant), LMR II Galleria West LLC (owner).
  - b. Review and possible action on a request for Preliminary approval for a mixed-use development known as The West End, located west of The Corners of Brookfield, Tax Key Nos. BKFT1123.960-.965; BKFT1123.976.001, .004, .005. IM Properties (applicant), Newfield Holdings LLC and Brookfield Corners LLC (owners).
7. Communications and Announcements.
  - a. Update on regulating permanent outdoor lighting in residential areas.
  - b. Next meeting date: May 13<sup>th</sup> at 6:00 pm
8. Adjourn.

Posted this 2nd day of April, 2026  
Rebekah Leto  
Town Planner

TOWN OF BROOKFIELD  
ARCHITECTURAL REVIEW COMMITTEE MINUTES  
MARCH 11, 2026

The regular meeting of the Architectural Review Committee was held in the East Conference Room of the Town Hall, 645 N Janacek Road, Brookfield, WI.

1) CALL TO ORDER

Chairman Dean Pearson called the meeting to order at 6:00 p.m. with the following people present: Town Supervisors John Charlier, Steve Kohlmann; and Committee members Alan Lee and Matt Paris; and Town Planner Rebekah Leto. Committee members Richard Diercksmeier was excused.

2) MEETING NOTICES

Planner Leto reported that the meeting was noticed in accordance with Open Meeting Law.

3) APPROVAL OF AGENDA

Motion by Mr. Charlier to approve the agenda as presented.

Seconded by Mr. Kohlmann.

*Motion carried unanimously.*

4) APPROVAL OF MINUTES

Motion by Mr. Lee to approve the minutes of the February 11, 2026 minutes as presented.

Seconded by Mr. Kohlmann.

*Motion carried unanimously.*

5) OLD BUSINESS

None.

6) NEW BUSINESS

- a. Review and possible action on a request for a wall sign at 18900 W. Bluemound Road, Suite 139 for Graze Craze (tenant); Signarama (applicant); LMR II Galleria West LLC (owner).

Planner Leto gave an overview of the proposal in accordance with the staff report. Leto showed an example from the previous two adjacent tenant spaces that both utilized the same gable for the signage and also showed a picture of the newly installed sign that would share the same gable. Discussions were had on that sign and if they installed that sign in accordance with the ARC's approval, noting that the sign had been installed left justified and low on the roof line. The Committee agreed that the proposed sign for Graze Craze would need to be lower to match the sign that was installed for Vivo Infusions. The Committee also generally agreed that the sign size appeared appropriately when looking at past signs and at Vivo, however Mr. Kohlmann noted that he did not think that double the size of what is permitted is acceptable, while also acknowledging that 11 sq. ft. is too small. Chairman Pearson asked about the Master Sign Program for the Galleria and questioned what it said. Planner Leto noted that the Master Sign Program allows various sign sizes so long as the total amount of sign square footage did not exceed 80% of the building façade. She relayed the issue was that no documentation has been kept on the sign sizes and compliance with the Master Sign Program since 2003. Chairman Pearson also noted that there is now a new owner who may not know about the Master Sign Program or may not wish to follow it. Mr. Paris stated he liked the old signs better which had more

uniformity than what they are seeing happen at Galleria West now. He indicated that as presented, he would not be in favor of this sign because it does not align with what is installed on the same gable (Vivo). Others agreed.

Motion by Mr. Paris to approve the proposed wall sign, including the requested waiver for sign size, for Graze Craze, located at 18900 W. Bluemound Road, Suite 139, subject to the location of the sign placement as shown on the plans with a revision date of January 15, 2026 being modified to be right justified on the gable to match Vivo Infusions sign and subject to the sign being placed no higher than the Vivo Infusions sign.

Seconded by Mr. Charlier.

Further Discussion: none.

*Motion carried 4-1, with Mr. Kohlmann voting against the motion.*

- b. Review and possible action on a request for Preliminary and Final approval for site plan changes, including a revised parking lot, dumpster, and lighting for Kwik Trip, located at 21980 Watertown Road. Excel Engineering (applicant); Kwik Trip Inc. (owner).

Planner Leto gave an overview of the proposal in accordance with the staff report, highlighting the deficiencies in the lighting over the existing parking lot. The Committee noted that these changes are welcome and appreciate the design that allows for a dedicated loading zone away from parking. Mr. Kohlmann asked if the site access was changing at all and Planner Leto responded no. Discussion on the lighting plan ensued, with the Committee reviewing the site to see if there was any place for additional light poles or building light. Ultimately, Mr. Paris, Mr. Lee and Mr. Kohlmann noted they were fine with the lighting plan, as proposed.

Motion by Mr. Kohlmann to recommend preliminary and final approval to the Town Plan Commission and Town Board for site plan changes, including a revised parking lot, dumpster, and lighting for Kwik Trip, located at 21980 Watertown Road as shown on the civil plans dated February 18, 2026 and dumpster plans dated February 25, 2026, prepared by Excel Engineering.

Seconded by Mr. Lee.

Further Discussion: None.

*Motion carried unanimously.*

- c. Review and possible action on a request for Preliminary and Final approval for site plan changes, including a new LED screen and stage at Market Square located within the Corners of Brookfield, north of Von Maur Department Store. Tax Key no. BKFT1123.960 Brookfield Corners LLC (owner/applicant).

Planner Leto gave an overview of the proposal in accordance with the staff report. Planner Leto discussed historically it was challenging to incorporate green space on the site. The planter box near the screen was a larger one that allowed some greenery and is proposed to be removed and not replaced. Mr. Kafkes, the applicant, stated that they would be happy to add back some planter boxes or greenery to meet the intent of the initial green space requirements. Discussion around the need to add green space ensued, with the Committee and applicant noting challenges of the site and where they may have had success. The applicants noted that they continue to incorporate landscaping elements where feasible. Mr. Gould, applicant, noted that the reason for the change is because the screen and stage are failing and there are safety concerns after receiving a report from their structural engineer. The new design focuses on the stage in all directions, whereas the existing screen was not a focus of the design originally and is lacking. The screen is approximately 10-12" wider than the existing screen but it is a little shorter and will be a 16:9 ratio. The old screen folds, so its parameters are slightly different. Chairman Pearson questioned why it was so white and Mr. Gould noted that it was intentional to help protect the screen from overheating due to the sun. The architect for the project clarified that the stage will be a tensile membrane, which is somewhat translucent. Mr. Paris noted that he liked the design but the night up lighting was too much. He also noted that the applicants own the apartments that the lights may

affect and they'll have to be the ones to respond to it. The applicants generally agreed the lighting shown in the rendering was more than intended. Mr. Lee noted that he liked that they removed the large ledge from the back of the screen and asked if the red concrete was stamped. Mr. Kafkes said that it would likely be stained concrete over stamped concrete because they have noticed the stained concrete holds up better in the elements. Mr. Lee echoed the need for greenery.

Motion by Mr. Lee to recommend Preliminary and Final approval for site plan changes, including a new LED screen and stage at Market Square located within the Corners of Brookfield, subject to the some landscaping being incorporated into the design and approved by the Planner.

Seconded by Mr. Charlier.

Further Discussion: Mr. Paris noted that he did not think that landscaping should be a requirement of the approval.

*Motion failed 1-4, with Mr. Paris, Mr. Kohlmann, Chairman Pearson and Mr. Charlier voting against the motion.*

Motion by Mr. Paris to recommend Preliminary and Final approval for site plan changes, including a new LED screen and stage at Market Square located within the Corners of Brookfield, as presented.

Seconded by Mr. Kohlmann.

Further Discussion: None.

Motion carried, 4-1, with Mr. Lee voting against the motion.

## 7) COMMUNICATION AND ANNOUNCEMENTS:

- a. Update on permanent outdoor lighting in residential areas regulations.

Planner Leto updated the Committee on the process for residential lighting regulations. The Plan Commission wanted to think about whether it was appropriate and will be discussing it again at their upcoming meeting.

## 8) ADJOURN

Motion by Mr. Kohlmann to adjourn at 6:54 pm.

Seconded by Mr. Paris.

*Motion carried unanimously.*

Respectfully submitted,  
Rebekah Leto, Town Planner



## TOWN OF BROOKFIELD ARCHITECTURAL REVIEW COMMITTEE STAFF REPORT

TO: Architectural Review Committee

FROM: Rebekah Leto, AICP, Town Planner

MEETING DATE: April 8, 2026

RE: **Galleria West tenant panel signage on existing monument sign**

APPLICANT: Innovative Signs, Dylan Braun

PROPERTY OWNER: LMR II GALLERIA WEST LLC

The following report is provided for cursory review prior to action. Specifics relating to the submitted documents of this application may be referenced in the Meeting Packet distributed by the Clerk.

Galleria West received approval from the Architectural Review Committee for a freestanding sign near W. Bluemound Road in March of 2024, to serve as a multi-tenant anchor sign for the development. The sign has remained vacant thus far, with the ARC approving the top anchor space in February 2026 (Richard Bennett Tailors). The owner is now proposing to add additional 17 tenant panels to the sign.

The sign consists of three separate cabinets. The top cabinet contains the large and medium panels; the middle cabinet contains the small panels and the lower cabinet contains the Galleria West name and address numerals. This is consistent with what was approved in 2024. However, the prior sign was approved with nineteen (19) tenant panels: 14 small, four (4) medium and one (1) large. The proposed sign has two additional small tenant panels and the maximum size of the logo is 1" smaller.

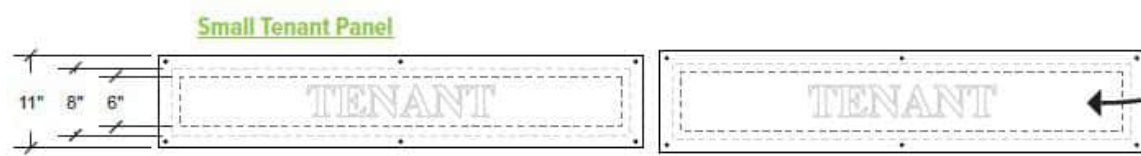
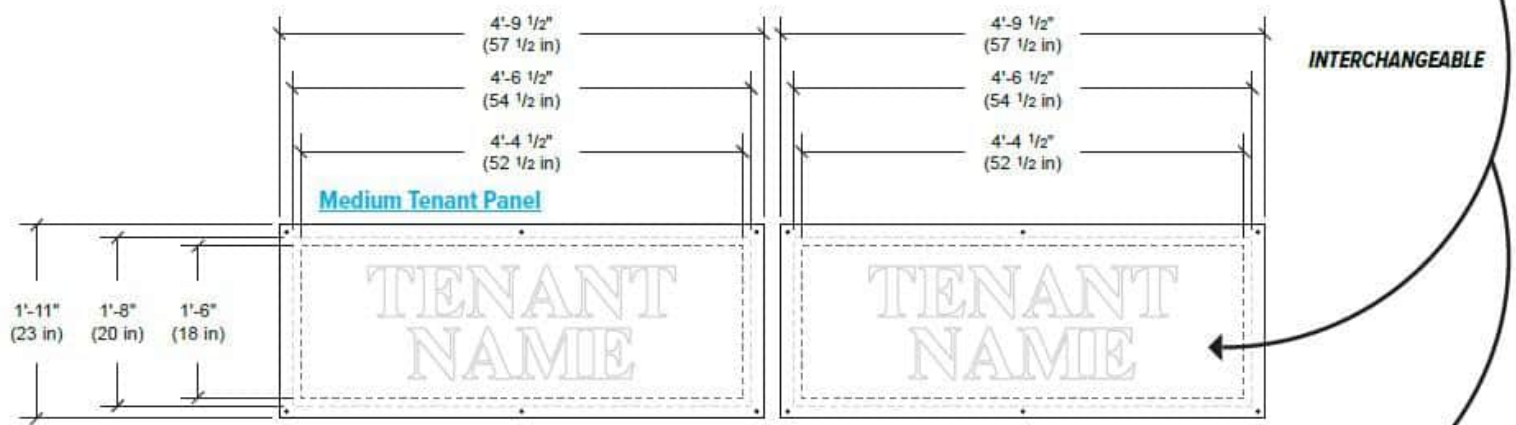
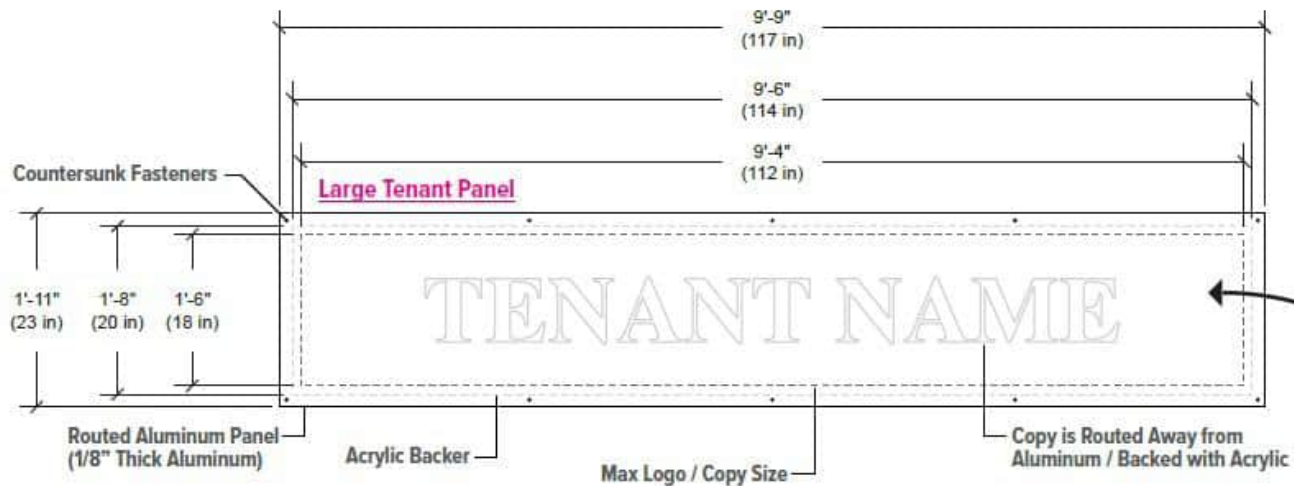
	Small	Medium	Large
Max copy size (previously presented)	4'4.5" x 7" 14 panels	4'4.5" x 1'-6" 4 panels	9'4" x 1'6" 1 panel
Max copy size (as proposed)	4'4.5" x 6" 16 panels	No change	No change

The text color is Sherwin-Williams Alabaster White, which is a warmer white and the font, apart from Richard Bennett Tailors, would be Times Bold Condensed. A list of the tenants is shown on the enclosed rendering. The applicant is proposing to keep four (4) small panels open at this time.

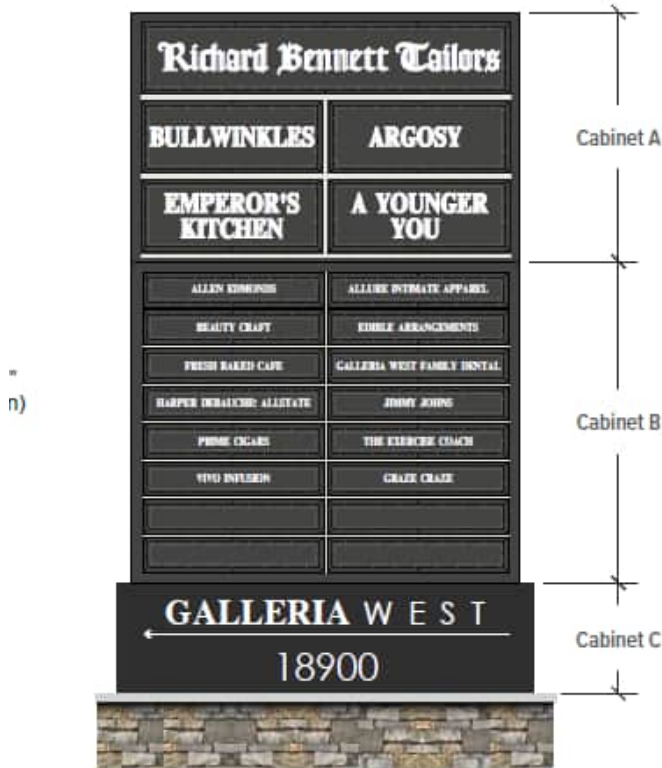
### **Recommendation**

At the discretion of the ARC. The number of panels presented on the original proposal in the Fall of 2023 was 14 tenant panels. The applicant came back in March 2024 requesting additional panels, among other things. The meeting minutes indicate that the ARC was generally not concerned with the

number of panels being presented. The Committee should discuss a 6" panel with presumably smaller font on such a large sign and the overall number of tenant panels. For reference, the window sign maximum size font is 5" in the Code. It is unclear how many businesses within Galleria West would not have their business on the multi-tenant sign.



**Layout #2: Times Bold Condensed**



- Medium:**
- Bullwinkles
  - A Younger You
  - Emperor's Kitchen
  - Argosy
- Small (Keeping 4 panels open):**
- Allen Edmonds
  - Allure Intimate Apparel
  - Beauty Craft
  - Edible Arrangements
  - Fresh Baked Cafe
  - Galleria West Family Dental
  - Harper Debauche: Allstate Ins.
  - Jimmy Johns
  - Prime Cigars
  - The Exercise Coach
  - VIVO Infusion
  - Graze Craze

**Sign A** | Color Specifications

- Colors**
- Paint**
- (P-1) SW Iron Ore (7069)
  - (P-2) SW Alabaster (7008)
  - (P-3) SW Tricorn Black (6258)
  - (P-4) SW Color based on Stone Sample (TBD)?



## TOWN OF BROOKFIELD ARCHITECTURAL REVIEW COMMITTEE STAFF REPORT

TO: Town of Brookfield Architectural Review Committee

FROM: Rebekah Leto, AICP, Town Planner

MEETING DATE: April 8, 2026

RE: **Preliminary Approval for The West End of The Corners of Brookfield, 20391 W. Bluemound Road, Taxkey No(s) BKFT1123.001, .004, .005**

APPLICANT: IM Properties (Wisconsin 1) LLC, Robert Gould

PROPERTY OWNER: Newfield Holdings LLC and Brookfield Corners LLC

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The following report is provided for cursory review prior to action. Specifics relating to the submitted documents of this application may be referenced in the Meeting Packet distributed by the Clerk.

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The applicant has submitted plans for a mixed-use development know as The West End on the remnant lands west of The Corners of Brookfield. The development will include approximately 38,000+/- sq. ft. of street-level retail and an additional 277 residential apartments. The Ordinance notes the ARC shall review “site plans, proposed structures, architectural plans, parking areas, driveway location, loading and unloading, highway access, traffic generation and circulation, drainage and utilization of landscaping and open space” and make recommendation to the Plan Commission and Town Board.

### **Site Plan, proposed structures and architecture:**

The proposal includes three separate buildings. Building A, located across from the Garrison Building, is a five-story mixed-use building, with street-level retail and four stories of residential. The retail tenants will be located along Lord Street with units that range from 4,129 sq. ft. to 6,315 sq. ft. Building B has five-stories of residential and two stories of structured parking for residents. A private courtyard roof deck (green roof) is located between the two buildings and is accessible at grade from the north and south ends. The third building is a retail only building that abuts W. Bluemound Rd and is anticipated to be a 17,500+/- sq. ft. single story structure. The building materials will be presented by the architect.

**Loading:** Loading zones are proposed underground with a connection to the existing underground parking structure. Access is at the north end of Buildings A and B via a tunnel, which would provide access to a WB-67 truck and garbage truck to the loading/receiving areas and trash vestibules. The

tunnel would also be an available entrance for cars to access the existing parking garage. The developer has noted that the sub-grade tunnel allows for better traffic flow to the underground parking for those who enter on Lord Street.

**Traffic and Access:** The original Traffic Impact Analysis (TIA) in 2011 did not include this development in its scope. Therefore, the developer has engaged with a consultant to complete an updated Traffic Impact Analysis, expected by mid-to-late April. The entrance onto Lord Street is not proposed to change at this time. It should be noted that the Town Engineer has recommended additional stop signs throughout the internal streets. However, the TIA may have different recommendations. All internal roads are private roads. The entrance to the development from W. Bluemound Road remains a public road for 228 feet.

**Parking.** No expansion of the existing underground parking structure is proposed. Additional visitor parking consists of 102 surface stalls on N. and S. Lord Street and Union Street, wrapping around the west side of Building B. Parking for residents consists of two levels of structured parking.

**Open Space and Landscaping.** Landscaping is proposed around and in between the parking areas, along the west side of Building B and along the west property lines. Throughout the development, there is a mix of shrubs, ornamental grasses and perennials. Large shrubs and a mix of trees are proposed to line the west property boundary near the I-94 exit ramp. No plant list has been provided.

The amount of open space on site is unknown. However, the green roof, private decks and the residents' swimming pool make up an estimated 13.9% of The West End parcel(s). This does not include any of the landscaping beds around the buildings or parking areas, or the west lot line. The MU-1 District requires 15% of usable open space, which is defined as areas unoccupied by driveways, drive aisles, service drives, off-street parking spaces or loading, or buildings and is unobstructed to the sky. It appears that the development meets this standard, although it should be noted that the PUD allows for this requirement to be flexed.

The Town Engineer suggested that the developer consider adding climax deciduous shade trees on the western portion of the site for additional canopy coverage. He also noted there were a few locations where ornamental-scale trees could potentially be upsized to shade-sized deciduous trees to help increase canopy cover and further reduce heat island impacts across the site.

### **Lighting**

Site lighting includes 35 LED post-top lamps throughout the site and recessed exterior LED strip lighting under the eaves. The lighting plan complies with the Town Ordinance per the Town Engineer. The proposed luminaire provides zero percent up lighting, which meets the intent of the "full cutoff" ordinance requirement. The plan also shows an area exceeding the maximum 0.2 foot-candle at the property line near the intersection of North Lord Street and W. Bluemound Rd (0.6 fc); however this area appears to have existing lighting on N. Lord St. that is causing the excess. He noted the additional lighting may even be a benefit in this area.

### **Signage**

Preliminary signage for the development is shown on the renderings. The developer has indicated they are looking for feedback on the general design and location of the signs at this time, as complete sign details have not been fully developed. The southeast elevation of Building 2 includes a rooftop sign, which is not permitted by code, and also a wall-mounted sign. The east elevation of Building A along Lord St. includes tenant signage that will conform to the existing DDCM requirements and a back-lit

aluminum sign with individually cut letters over the entrance to the apartment lobby that states “The West End”. There are multiple parking sign identifiers to mark the entrances into the parking garage.

**Plan Commission:** The Plan Commission approved Conceptual and Preliminary approval of the development, and recommend approval for a Conditional Use Permit (Planned Unit Development) on March 24, 2026, subject to the following conditions:

1. All rooftop mechanicals shall be screened from view.
2. All comments of the Town Engineer, Sanitary District and Fire Department shall be complied with and shown on the final plans.
3. The Landscaping plan shall be updated to incorporate plant species and a maintenance schedule.
4. A Certified Survey Map shall be submitted, reviewed and approved by the Town of Brookfield and any extra-territorial review entity, prior to permits being issued.
5. A Traffic Impact Analysis shall be submitted for review, prior to final plan approval.
6. Renderings of the development signage shall be submitted for consideration of the ARC, Plan Commission and Town Board.

In their discussion, it was also recommended to the applicants to remove the roof top sign, use the International Building Code (IBC) accessibility requirements as it relates to parking dimensions and number of spaces. The parking ratio will be confirmed by a forthcoming parking study

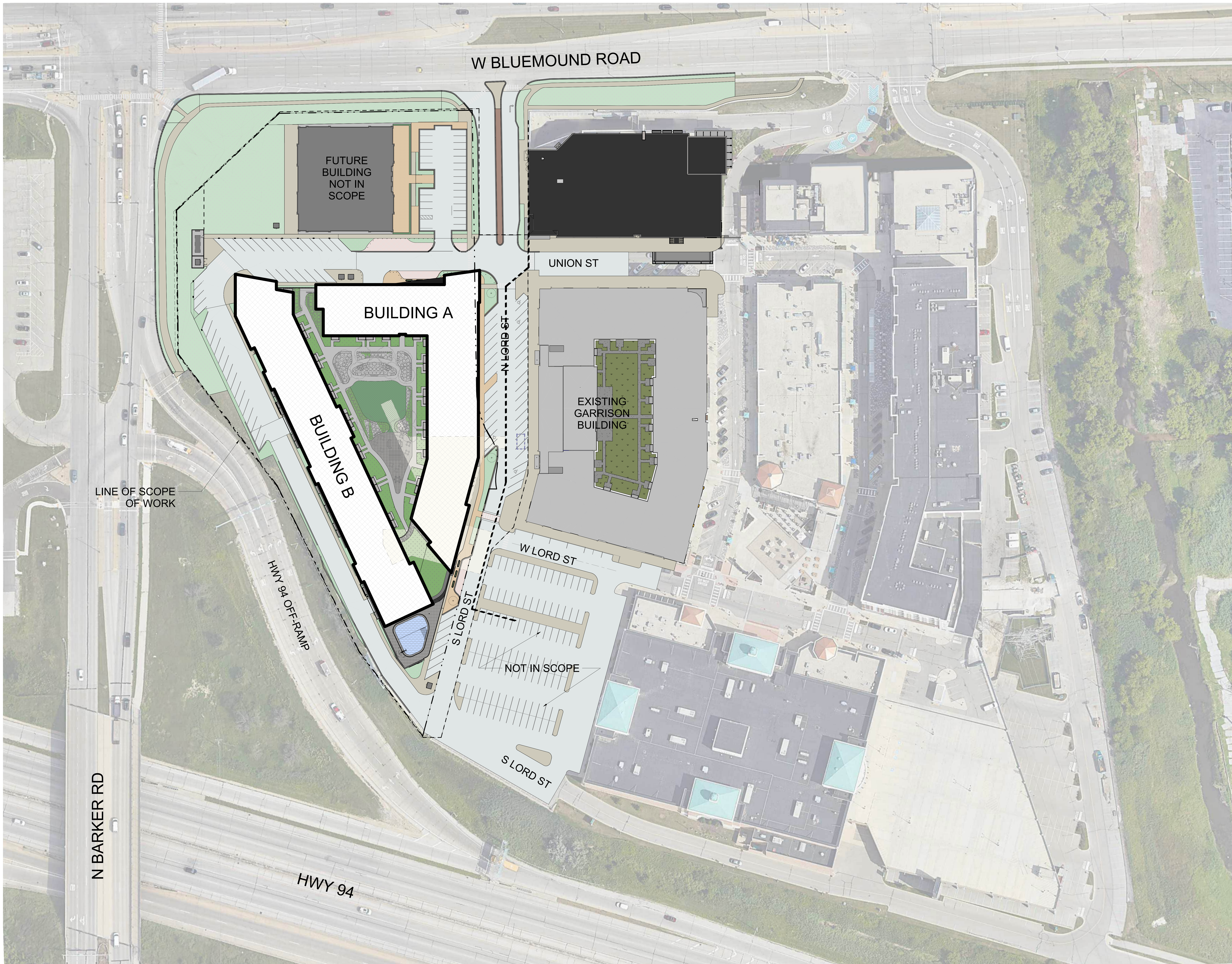
Town Board will review for Conceptual and Preliminary approval on April 8, 2026.

**Recommendation**

I recommend **Preliminary approval** of the proposed development known as The West End, located at 20391 W. Bluemound Road, Tax key No(s) BKFT1123.001, .004, .005, subject to the Plan Commission conditions noted above.

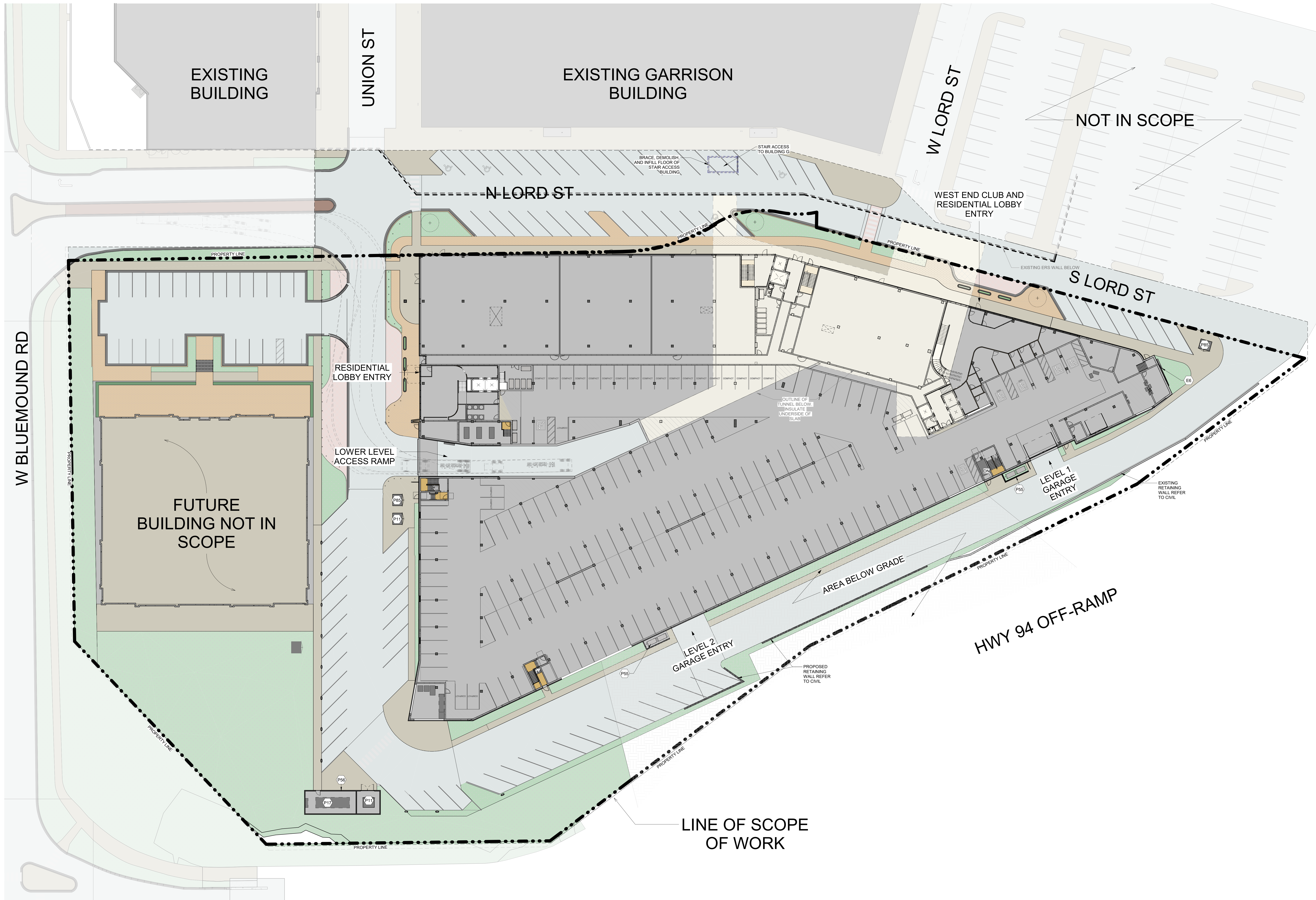
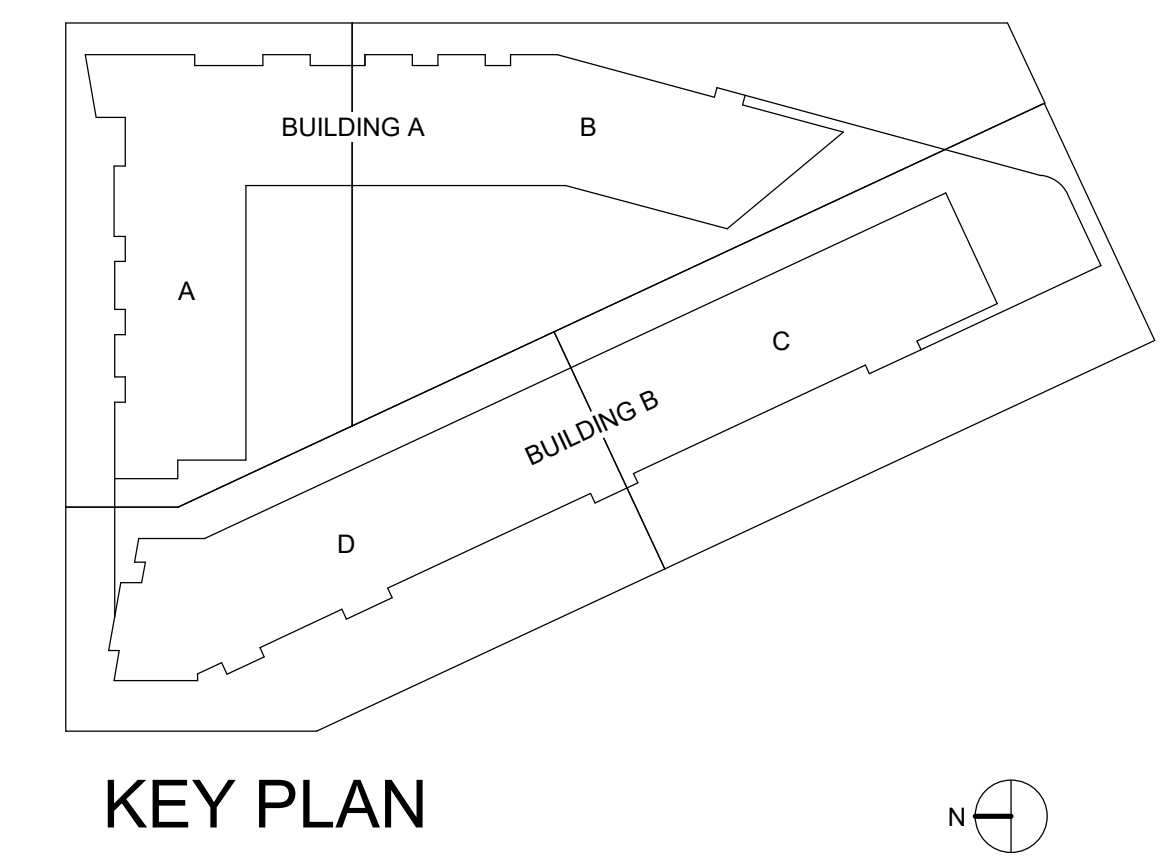
The development will improve traffic circulation and move loading zones away from customer parking areas. The buildings are designed to be an expansion of the existing development, offering additional retail and residential to the town. The lighting is consistent with what is existing at The Corners. Future sign renderings will be brought forth to ensure it is cohesive. The ARC may want to consider offering additional comments on the proposed landscaping, signage and lighting.

Enclosures



**KEY NOTES**

- ES MONUMENT SIGNAGE, PROVIDE POWER TO RACEWAY
- P11 TRANSFORMER & CONCRETE PAD, REFER TO ENERGY PROVIDER REQUIREMENTS
- P17 GENERATOR - COORDINATE WITH DESIGN/BUILD ELECTRICAL CONTRACTOR
- P55 RECYCLING ENCLOSURE -DCMU-1- CONSTRUCTION, 4' TALL
- P56 GENERATOR & TRANSFORMER ENCLOSURE W/ STEEL GATE -DCMU-1- CONSTRUCTION, 6' TALL
- P58 FIRE PUMP TRANSFORMER & CONCRETE PAD, COORDINATE WITH DESIGN/BUILD MEPPP CONTRACTOR



△ Revisions

DESIGN  
DEVELOPMENT  
SET

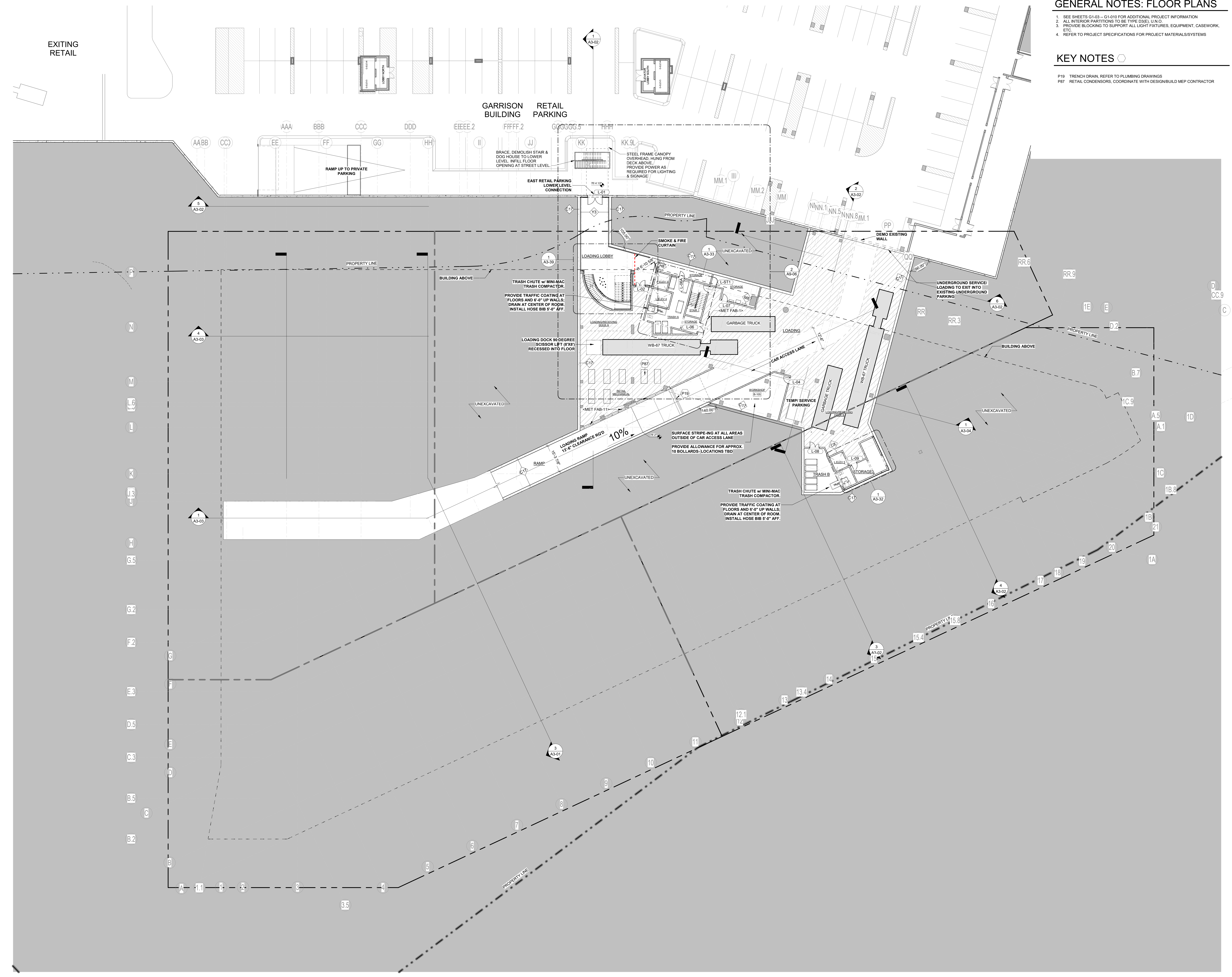
THE CORNERS OF  
BROOKFIELD:  
PHASE II

20111 W BLUEMOUND ROAD  
BROOKFIELD, WI 53045  
Date issued: 12/19/2025  
RINKA project #: 23203  
Sheet Title

ARCHITECTURAL  
SITE PLAN

Sheet # **A1-00.1**

NOT FOR CONSTRUCTION



**GENERAL NOTES: FLOOR PLANS**

1. SEE SHEETS G1-03 - G1-010 FOR ADDITIONAL PROJECT INFORMATION
2. ALL INTERIOR PARTITIONS TO BE TYPE DQEL U.I.O.
3. PROVIDE BLOCKING TO SUPPORT ALL LIGHT FIXTURES, EQUIPMENT, CASEWORK, ETC.
4. REFER TO PROJECT SPECIFICATIONS FOR PROJECT MATERIALS/SYSTEMS

**KEY NOTES**

- P19 TRENCH DRAIN, REFER TO PLUMBING DRAWINGS
- P87 RETAIL CONDENSORS, COORDINATE WITH DESIGN/BUILD MEP CONTRACTOR

**RINKA+**  
 2025  
 756 North Milwaukee Street, Suite 250  
 Milwaukee, Wisconsin 53202  
 p 414.431.8101

**im**  
 INSURANCE  
 MANAGEMENT

**THE CORNERS**  
 TOWN OF BROOKFIELD

The Corners of Brookfield  
 20111 W Bluemound Road  
 Brookfield, WI 53045

**MANDEL GROUP**  
 Mandel Group  
 333 E Kilbuck Avenue  
 Milwaukee, WI 53202

△ Revisions

DESIGN  
 DEVELOPMENT  
 SET  
**THE CORNERS OF  
 BROOKFIELD:  
 PHASE II**

20111 W BLUEMOUND ROAD  
 BROOKFIELD, WI 53045  
 Date issued: 12/19/2025  
 RINKA project #: 23203  
 Sheet Title

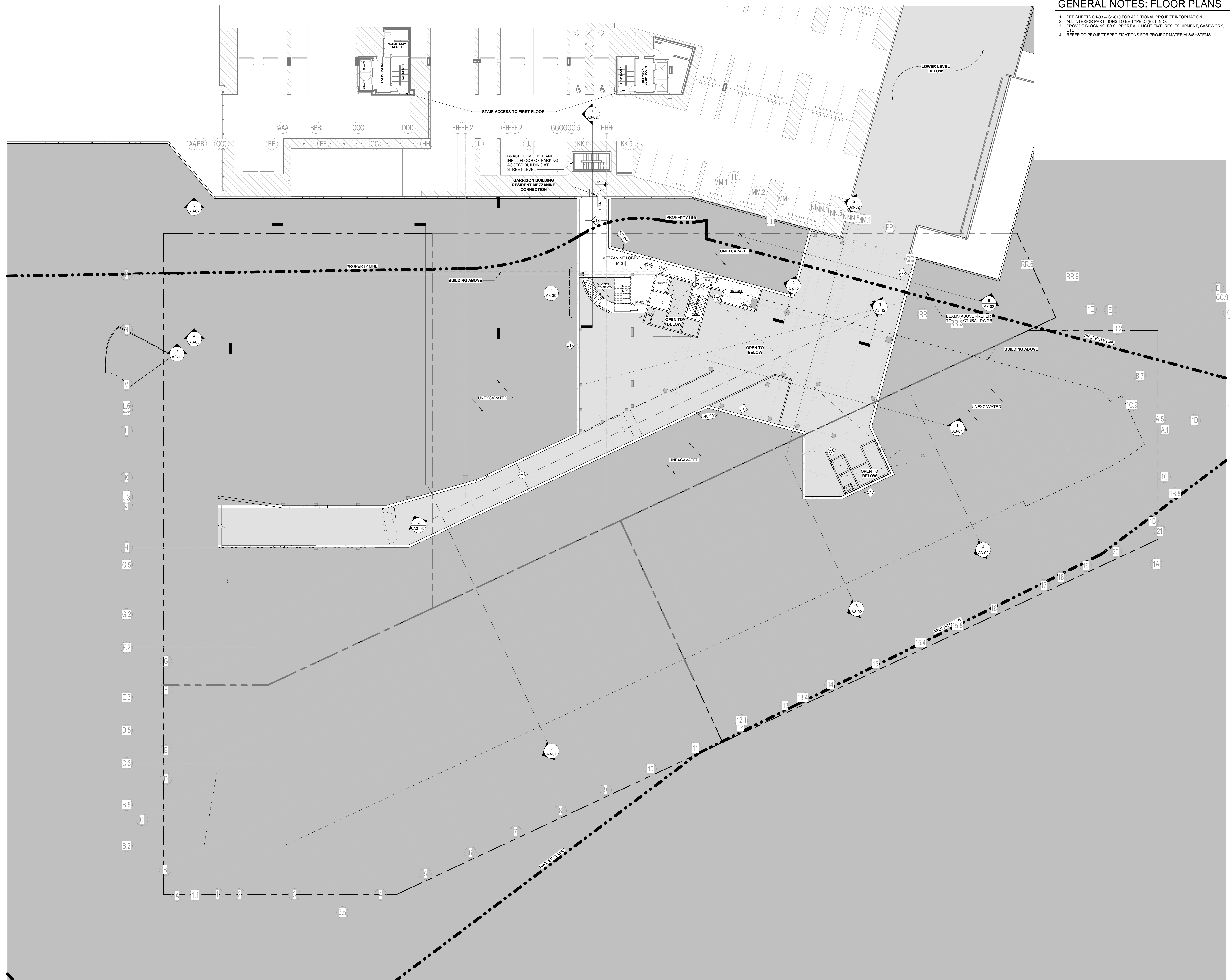
**LOWER LEVEL  
 FLOOR PLAN**  
 Sheet # **A1-01**

**1 LOWER LEVEL - OVERALL FLOOR PLAN**  
 1/16" = 1'-0"

NOT FOR CONSTRUCTION

GENERAL NOTES: FLOOR PLANS

1. SEE SHEETS G1-03 - G1-010 FOR ADDITIONAL PROJECT INFORMATION
2. ALL INTERIOR PARTITIONS TO BE TYPE D/DEL U.I.O.
3. PROVIDE BLOCKING TO SUPPORT ALL LIGHT FIXTURES, EQUIPMENT, CASEWORK, ETC.
4. REFER TO PROJECT SPECIFICATIONS FOR PROJECT MATERIALS/SYSTEMS



1 MEZZANINE - OVERALL FLOOR PLAN  
1/16" = 1'-0"

△ Revisions

DESIGN  
DEVELOPMENT  
SET

THE CORNERS OF  
BROOKFIELD:  
PHASE II

20111 W BLUEMOUND ROAD  
BROOKFIELD, WI 53045  
Date issued: 12/19/2025  
RINKA project #: 23203  
Sheet Title

OVERALL -  
MEZZANINE FLOOR  
PLAN

Sheet # A1-02

NOT FOR CONSTRUCTION

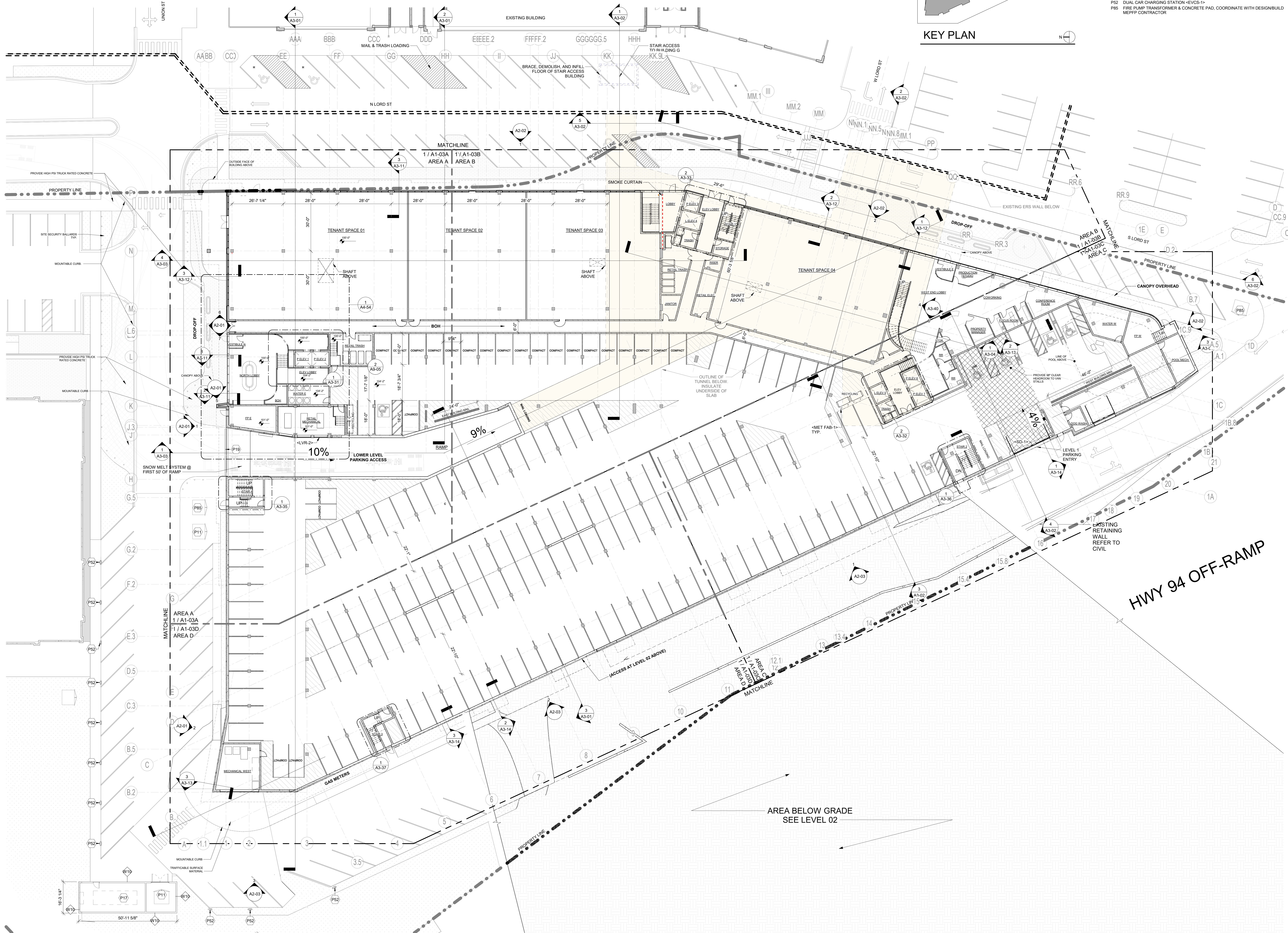
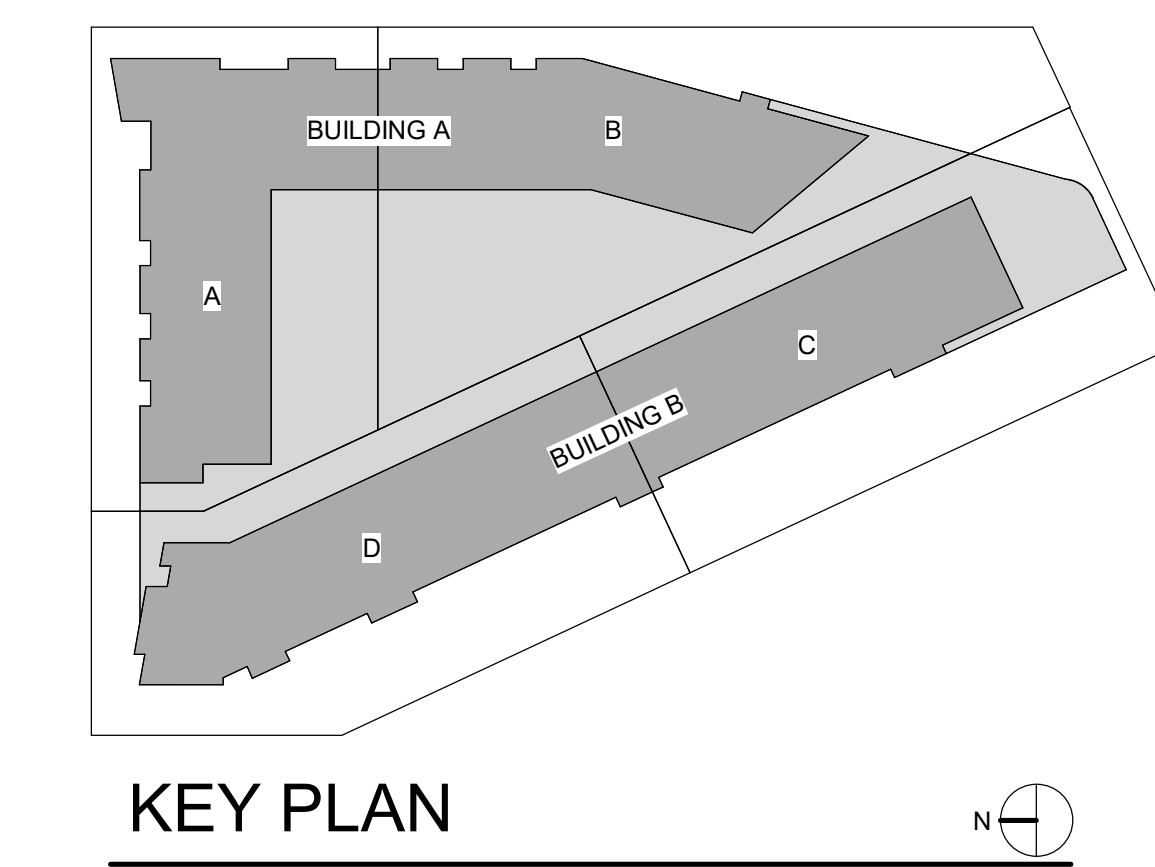


**GENERAL NOTES: FLOOR PLANS**

1. SEE SHEETS G1-03 - G1-010 FOR ADDITIONAL PROJECT INFORMATION
2. ALL INTERIOR PARTITIONS TO BE TYPE DQEL U.I.O.
3. PROVIDE BLOCKING TO SUPPORT ALL LIGHT FIXTURES, EQUIPMENT, CASEWORK, ETC.
4. REFER TO PROJECT SPECIFICATIONS FOR PROJECT MATERIALS/SYSTEMS

**KEY NOTES**

- P11 TRANSFORMER & CONCRETE PAD. REFER TO ENERGY PROVIDER REQUIREMENTS
- P17 GENERATOR - COORDINATE WITH DESIGN/BUILD ELECTRICAL CONTRACTOR
- P19 TRENCH DRAIN, REFER TO PLUMBING DRAWINGS
- PS2 DUAL CAR CHARGING STATION - EVCS 1-9
- PS5 FIRE PUMP TRANSFORMER & CONCRETE PAD. COORDINATE WITH DESIGN/BUILD MEPP CONTRACTOR



**1 LEVEL 01 - OVERALL FLOOR PLAN**  
1/16" = 1'-0"

△ Revisions

DESIGN  
DEVELOPMENT  
SET

**THE CORNERS OF  
BROOKFIELD:  
PHASE II**

20111 W BLUEMOUND ROAD  
BROOKFIELD, WI 53045  
Date issued: 12/19/2025  
RINKA project #: 23203  
Sheet Title

**OVERALL - LEVEL  
01 FLOOR PLAN**

Sheet # **A1-03**

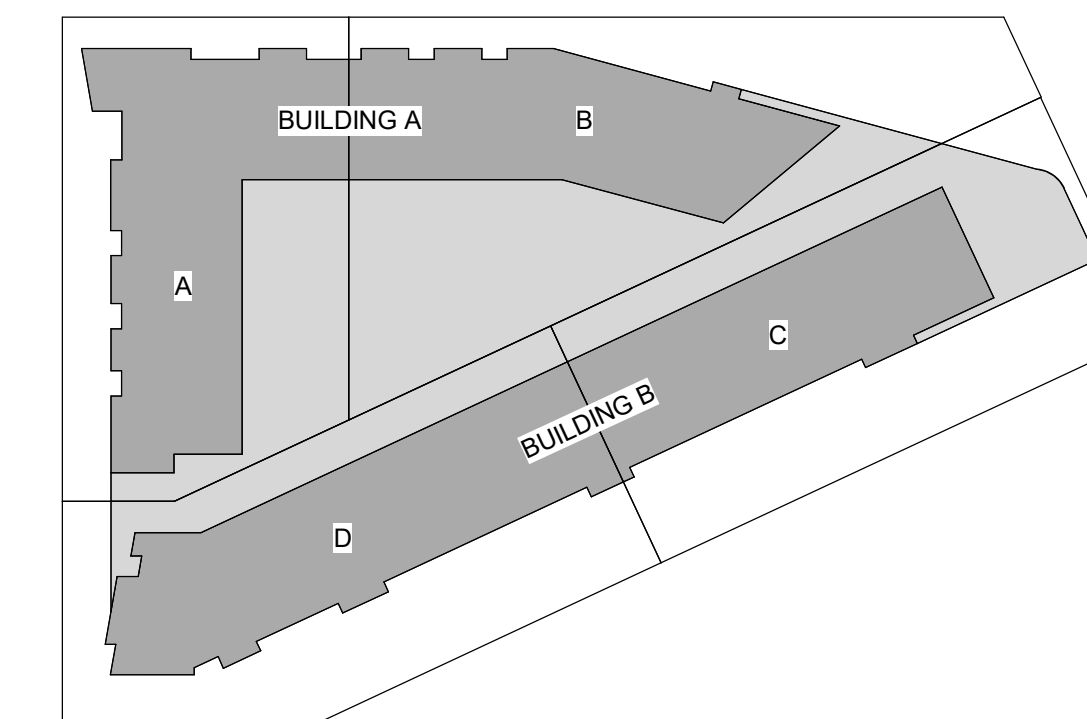
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**GENERAL NOTES: FLOOR PLANS**

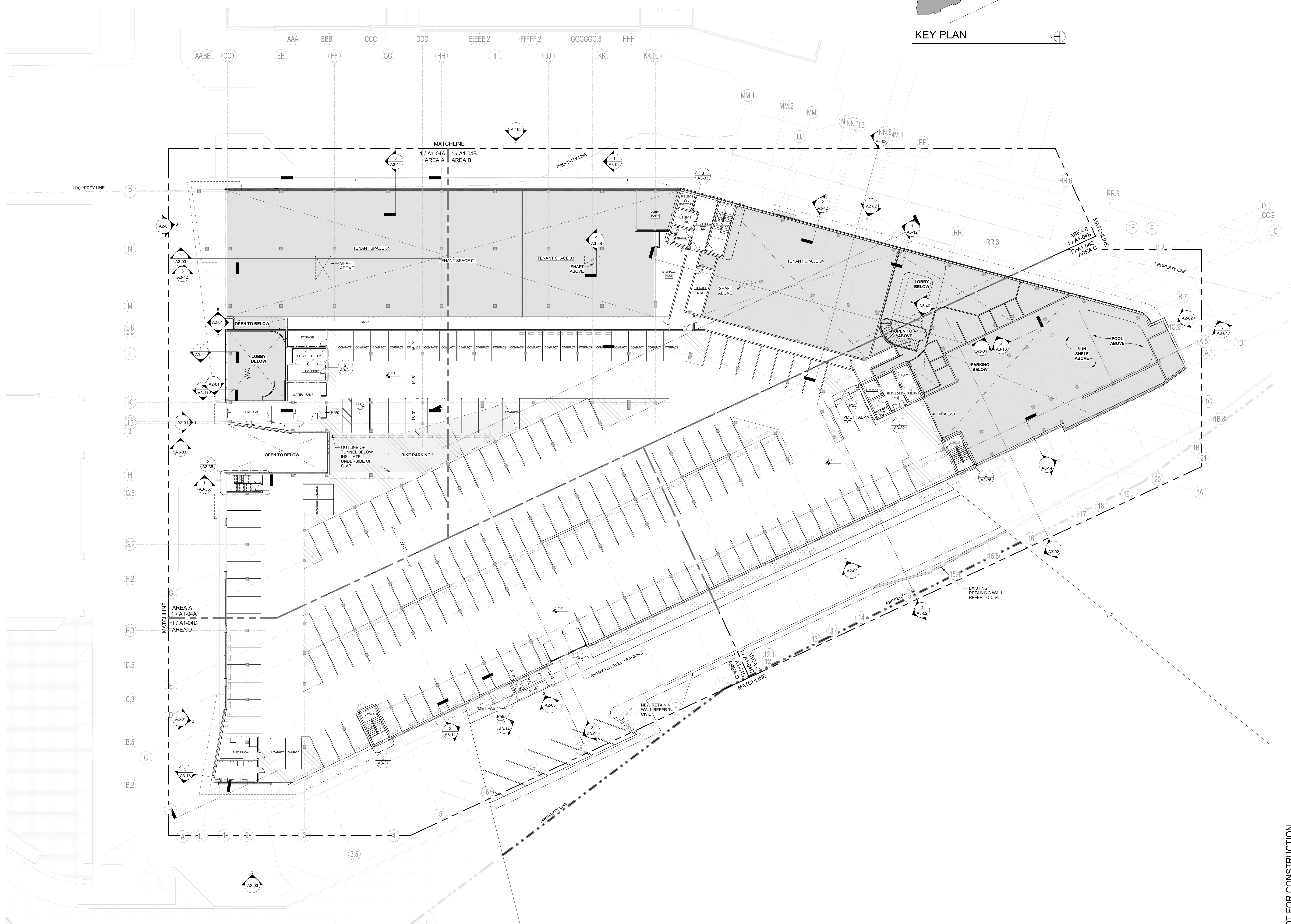
1. SEE SHEETS G1-03 - G1-010 FOR ADDITIONAL PROJECT INFORMATION
2. ALL INTERIOR PARTITIONS TO BE TYPE C30EL U.I.O.
3. PROVIDE BLOCKING TO SUPPORT ALL LIGHT FIXTURES, EQUIPMENT, CASEWORK, ETC.
4. REFER TO PROJECT SPECIFICATIONS FOR PROJECT MATERIALS/SYSTEMS

**KEY NOTES**

P55 RECYCLING ENCLOSURE, <DCMU-1> CONSTRUCTION, 4' TALL



**KEY PLAN**



**1 LEVEL 02 - OVERALL FLOOR PLAN**  
1/16" = 1'-0"

△ Revisions

**DESIGN DEVELOPMENT SET**  
**THE CORNERS OF BROOKFIELD: PHASE II**

20111 W BLUEMOUND ROAD  
BROOKFIELD, WI 53005  
Date issued: 12/19/2025  
RINKA project #: 23203  
Sheet Title

**OVERALL - LEVEL 02 FLOOR PLAN**  
Sheet # **A1-04**

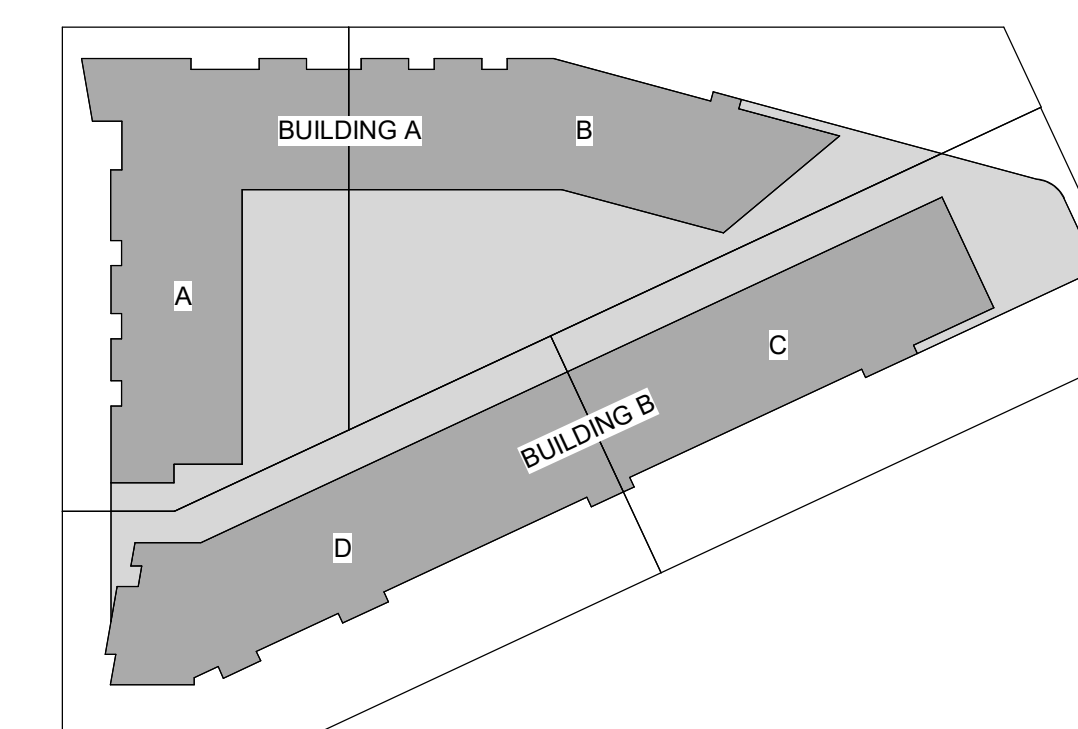
NOT FOR CONSTRUCTION

**GENERAL NOTES: FLOOR PLANS**

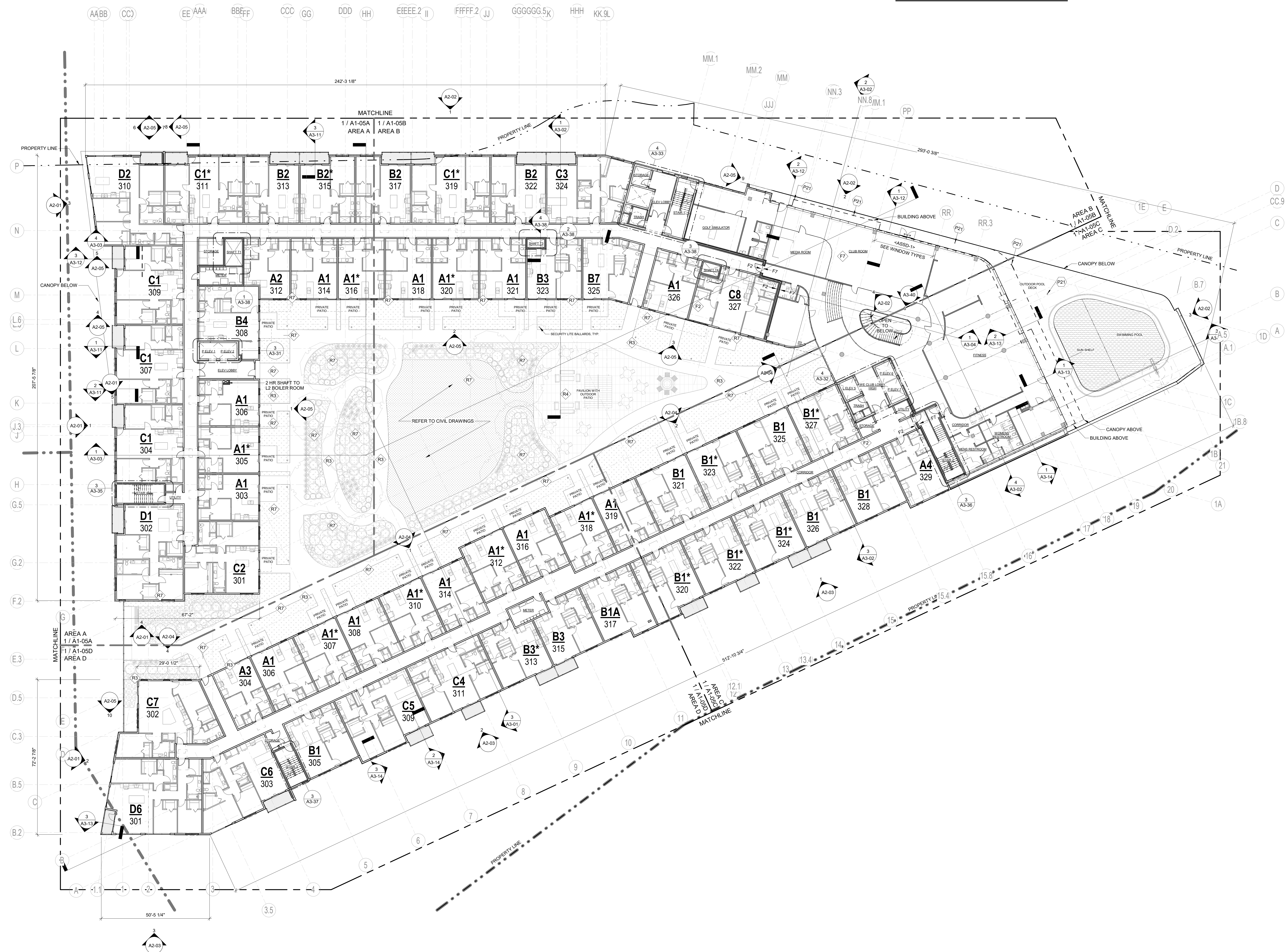
1. SEE SHEETS G1-03 - G1-010 FOR ADDITIONAL PROJECT INFORMATION
2. ALL INTERIOR PARTITIONS TO BE TYPE C301 U.I.O.
3. PROVIDE BLOCKING TO SUPPORT ALL LIGHT FIXTURES, EQUIPMENT, CASEWORK, ETC.
4. REFER TO PROJECT SPECIFICATIONS FOR PROJECT MATERIALS/SYSTEMS

**KEY NOTES**

P21 DECK DRAIN - COORDINATE WITH DESIGN/BUILD PLUMBING CONTRACTOR



**KEY PLAN**



**1 LEVEL 03 - OVERALL FLOOR PLAN**  
1/16" = 1'-0"



△ Revisions

DESIGN  
DEVELOPMENT  
SET

THE CORNERS OF  
BROOKFIELD:  
PHASE II

20111 W BLUEMOUND ROAD  
BROOKFIELD, WI 53005  
Date issued: 12/19/2025  
RINKA project #: 23203  
Sheet Title

OVERALL - LEVEL  
03 FLOOR PLAN

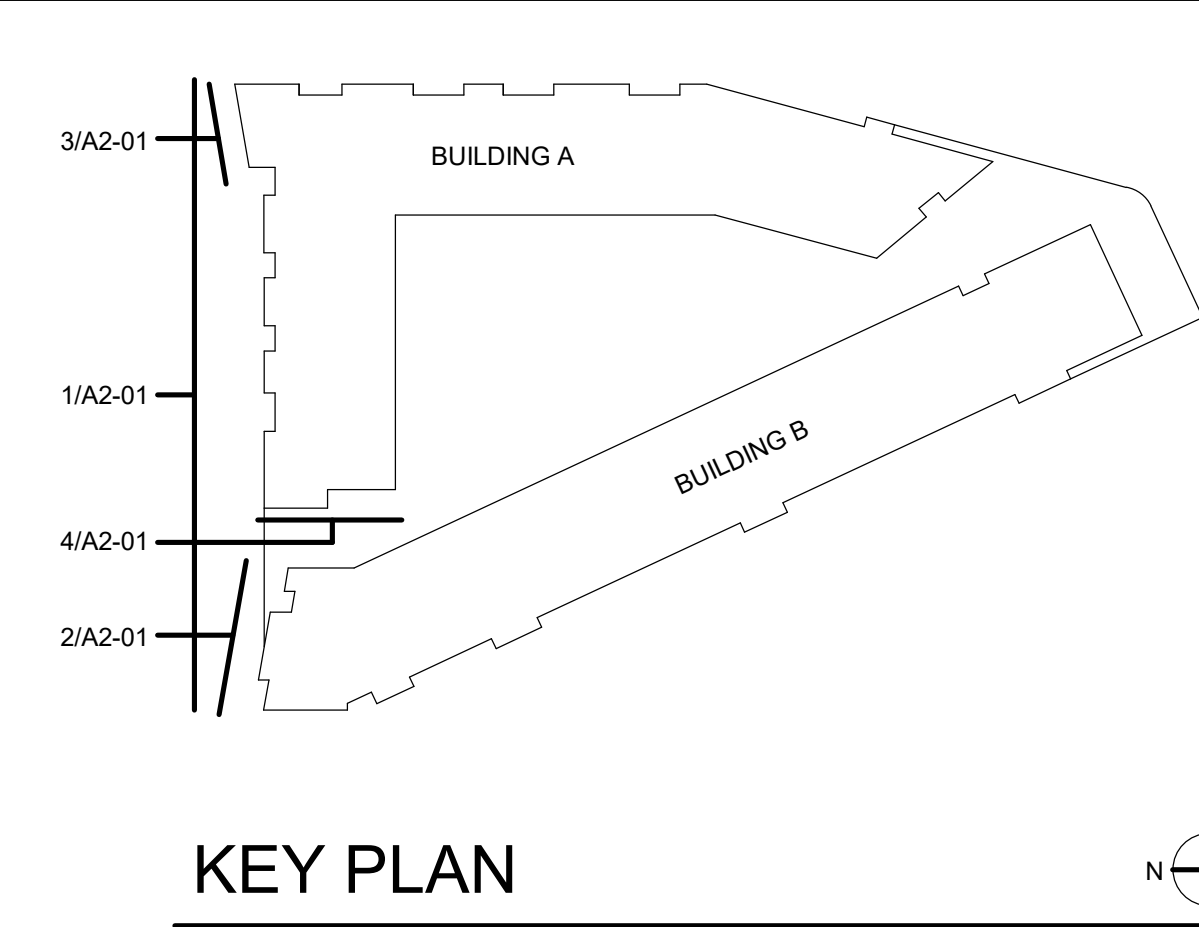
Sheet # **A1-05**

NOT FOR CONSTRUCTION

**EXTERIOR MATERIAL KEY**

<FCS-1>	NICHIPANEL SMOOTH COLOR: BLACK	<USS-1>	COSENTINO, DEKTON W/ CONCEALED FASTENERS COLOR: DOMMOOS
<FCS-2>	NICHHA, DIMENSION SERIES, RIBBED COLOR: CUSTOM BLACK	<TRS-1>	AVENIRE, NEACERA TERRA, COTTA RAINSCREEN SYSTEM COLOR: GLOSS WHITE
<FCS-3>	NICHHA, DIMENSION SERIES, RIBBED COLOR: IVORY	<DCMU-2>	ECHELON CORDOVA STONE PRECAST MASONRY SILL COLOR: BUFF GROUND FACE
<MV-1>	HEBRON BRICK VENEER, UTILITY SIZE COLOR: OPUS	<FCS-4>	NICHHA, WOOD SERIES, VINTAGEWOOD COLOR: CEDAR
<SMF-3>	BREAK METAL TRIM COLOR: BLACK	<FCS-5>	NICHHA, WOOD SERIES, VINTAGEWOOD COLOR: CEDAR
<MP-4> <MP-5>	METAL PANEL WALL SYSTEM COLOR: BLACK	<FCS-6>	NICHIPANEL SMOOTH COLOR: CUSTOM
<APC-1>	PRECAST WALL PANEL - SMOOTH FORMED FINISH	<APC-2>	PRECAST WALL PANEL - RIBBED FINISH - RECOLU-US FORMLINER APPLICATION-2169 COLUMBIA
<DCMU-1>	ECHELON CORDOVA STONE COLOR: MIDNIGHT		

\*NOTE: EXTERIOR MATERIALS ARE FOR DESIGN INTENT, AND SUBJECT TO CHANGE PENDING BUDGETARY AND CONSTRUCTION NEEDS



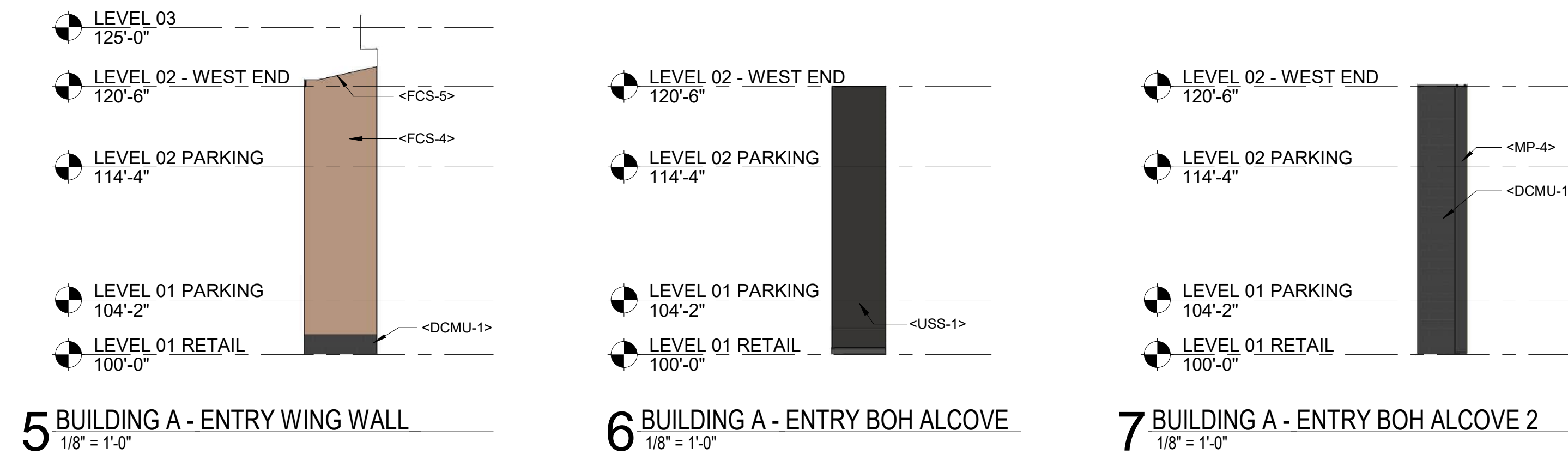
**KEY PLAN**

**GENERAL NOTES: EXT. ELEVATIONS**

- SEE SHEET G1-03 THRU G1-08 FOR ADDITIONAL PROJECT INFORMATION
- PROVIDE DRIP CAP FLASHING AT ALL WINDOW & DOOR HEADS
- REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATIONS
- WINDOW SUPPLIER TO PROVIDE TEMPERED GLAZING AS REQUIRED PER SECTION 2406 OF THE 2015 IBC.
- EXHAUST VENT COVERS IN EXTERIOR WALLS SHALL HAVE COLOR TO MATCH ADJACENT SIDING OR MASONRY COLOR
- EXTERIOR MATERIALS, DETAILING, AND COLORS TO WRAP CORNER AT ALL BAY CONDITIONS AND TERMINATE AT THE INSIDE CORNER, UNLESS OTHERWISE NOTED
- CONTROL JOINTS SHOULD OCCUR AT INSIDE CORNER WHERE WALLS MEET AND WHERE SHOWN ON ELEVATIONS. EXTEND UP ENTIRE MASONRY VENEER FACE, UNLESS NOTED OTHERWISE
- SEAL ALL WALL PENETRATIONS WITH MEMBRANE FLASHING AT SURFACE OF EXTERIOR SHEATHING
- GENERAL CONTRACTOR TO CONSOLIDATE AND ALIGN VERTICALLY AND HORIZONTALLY ALL DRYER AND EXHAUST VENTS. COORDINATE WITH MEP, ARCHITECTURAL, AND STRUCTURAL
- CONFIRM EXTERIOR SIGNAGE LOCATIONS WITH THE OWNER AND PROVIDE BLOCKING AND POWER AS REQUIRED. COORDINATE EXTERIOR FINISH INSTALLATION WITH SIGNAGE AS NECESSARY.

**KEY NOTES**

- E7 PARKING BLADE SIGNAGE, PROVIDE POWER & DATA TO RACEWAY
- E8 INDIVIDUALLY ROUTED, BACKLIT, ALUMINUM LETTER SIGNAGE, PROVIDE POWER
- E9 FIRE RAMP METERS, COORDINATE WITH DESIGN/BUILD MEP/FP CONTRACTOR
- E10 ENTRY CANOPY - <MET FAB-14> STEEL FRAMED CANOPY OVERHANGS, PROVIDE ROOF DRAINS AS EREQ'D. BLACK TIE ROD SUPPORTS W/ HPC-1, FINISH PERIMETER WITH MP-5 AND SCFFIT AS FCS-5



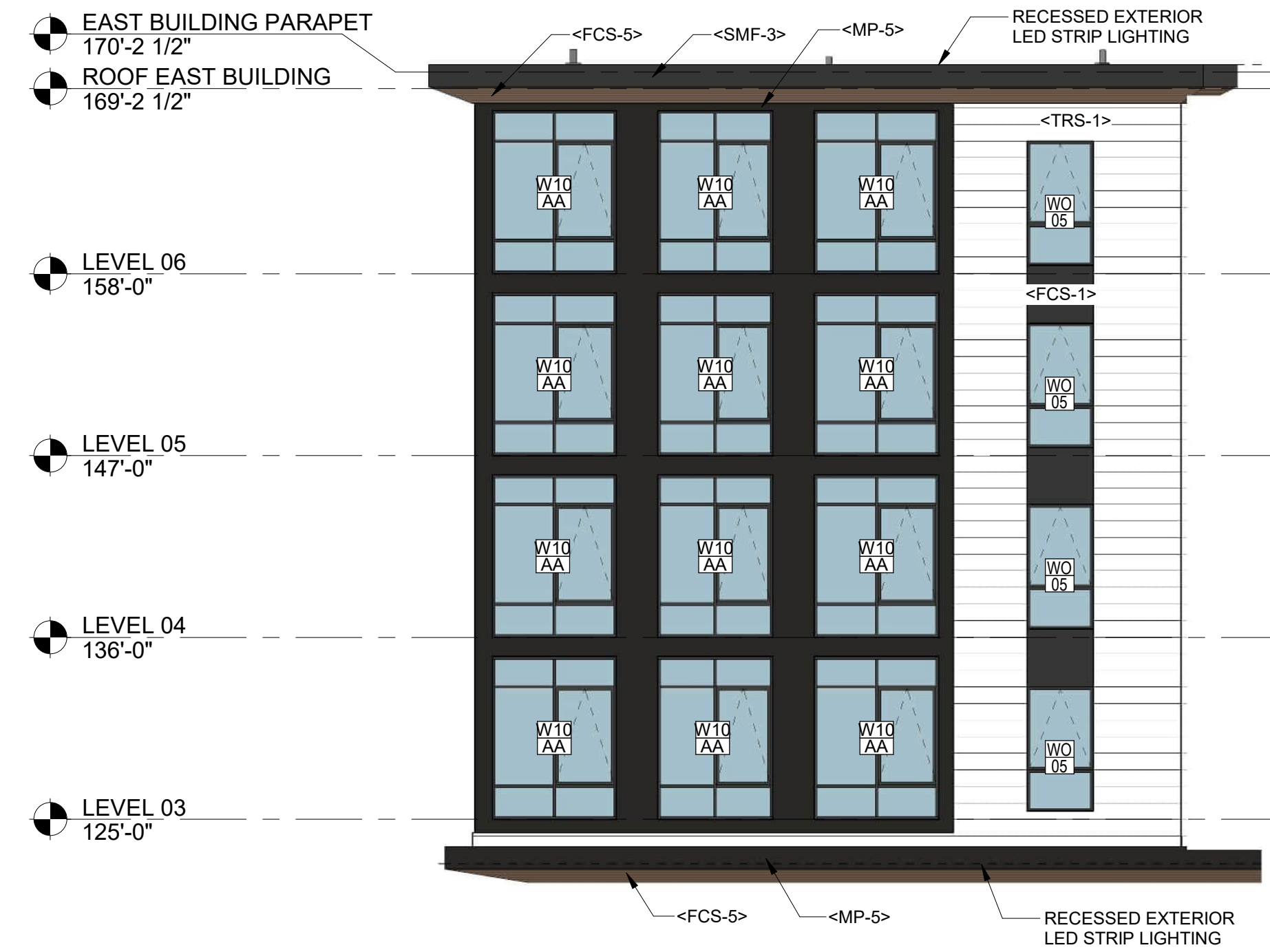
**5 BUILDING A - ENTRY WING WALL**  
1/8" = 1'-0"

**6 BUILDING A - ENTRY BOH ALCOVE**  
1/8" = 1'-0"

**7 BUILDING A - ENTRY BOH ALCOVE 2**  
1/8" = 1'-0"



**4 BUILDING A COURTYARD - NORTH-NORTHEAST**  
1/8" = 1'-0"



**3 BUILDING A - NORTH ELEVATION 2**  
1/8" = 1'-0"



**2 BUILDING B - NORTH ELEVATION**  
1/8" = 1'-0"



**1 BUILDING A - NORTH ELEVATION 1**  
1/8" = 1'-0"

△ Revisions

DESIGN  
DEVELOPMENT  
SET  
**THE CORNERS OF  
BROOKFIELD:  
PHASE II**

20111 W BLUEMOUND ROAD  
BROOKFIELD, WI 53005  
Date Issued: 12/19/2025  
RINKA project #: 23203  
Sheet Title

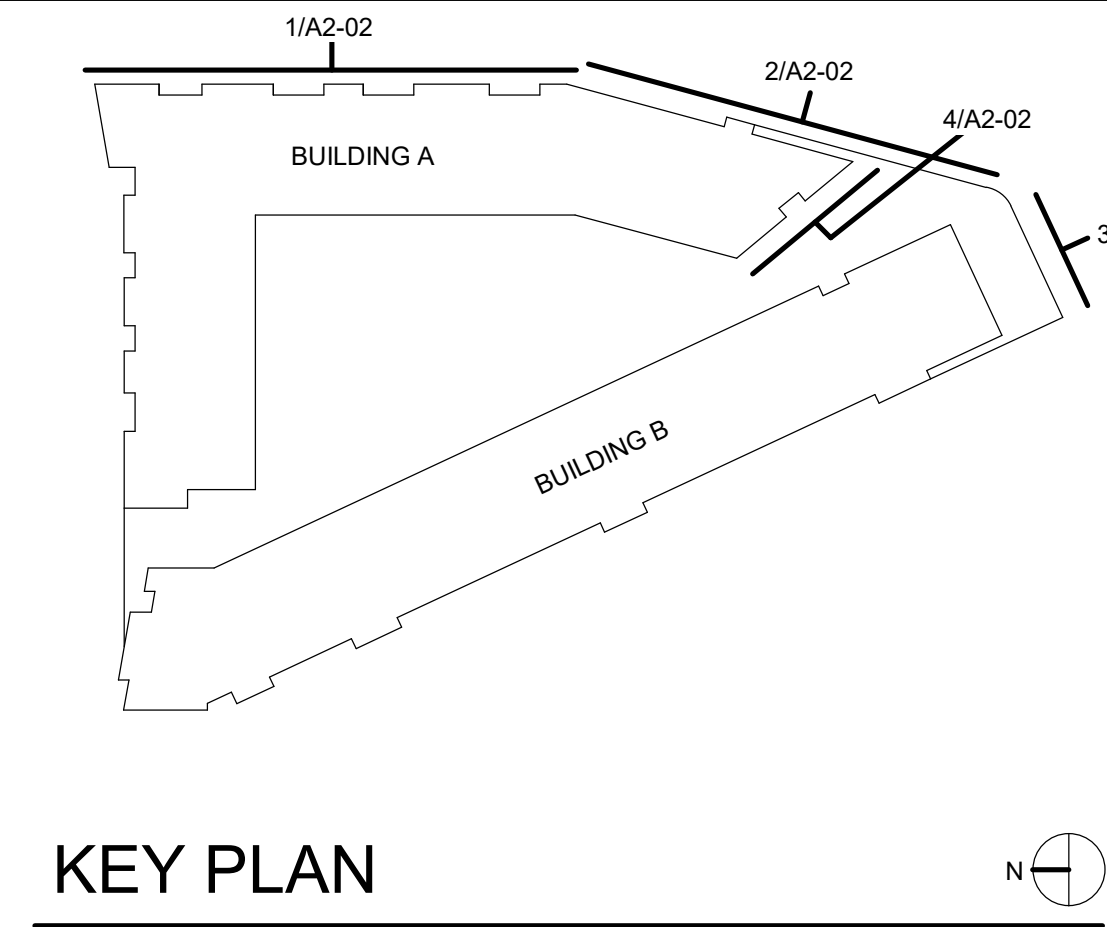
EXTERIOR  
ELEVATIONS

Sheet # **A2-01**

NOT FOR CONSTRUCTION

**GENERAL NOTES: EXT. ELEVATIONS**

- SEE SHEET G1-03 THRU G1-08 FOR ADDITIONAL PROJECT INFORMATION
- PROVIDE DRIP CAP FLASHING AT ALL WINDOW & DOOR HEADS
- REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATIONS
- WINDOW SUPPLIER TO PROVIDE TEMPERED GLAZING AS REQUIRED PER SECTION 2406 OF THE 2015 IBC.
- EXHAUST VENT COVERS IN EXTERIOR WALLS SHALL HAVE COLOR TO MATCH ADJACENT SIDING OR MASONRY COLOR.
- EXTERIOR MATERIALS, DETAILING, AND COLORS TO WRAP CORNER AT ALL BAY CONDITIONS AND TERMINATE AT THE INSIDE CORNER, UNLESS OTHERWISE NOTED.
- CONTROL JOINTS SHOULD OCCUR AT INSIDE CORNER WHERE WALLS MEET AND WHERE SHOWN ON ELEVATIONS. EXTEND UP ENTIRE MASONRY VENEER FACE, UNLESS NOTED OTHERWISE.
- SEAL ALL WALL PENETRATIONS WITH MEMBRANE FLASHING AT SURFACE OF EXTERIOR SHEATHING.
- GENERAL CONTRACTOR TO CONSOLIDATE AND ALIGN VERTICALLY AND HORIZONTALLY ALL DRIVER AND EXHAUST VENTS. COORDINATE WITH MECH, ARCHITECTURAL, AND STRUCTURAL.
- CONFIRM EXTERIOR SIGNAGE LOCATIONS WITH THE OWNER AND PROVIDE BLOCKING AND POWER AS REQUIRED. COORDINATE EXTERIOR FINISH INSTALLATION WITH SIGNAGE AS NECESSARY.



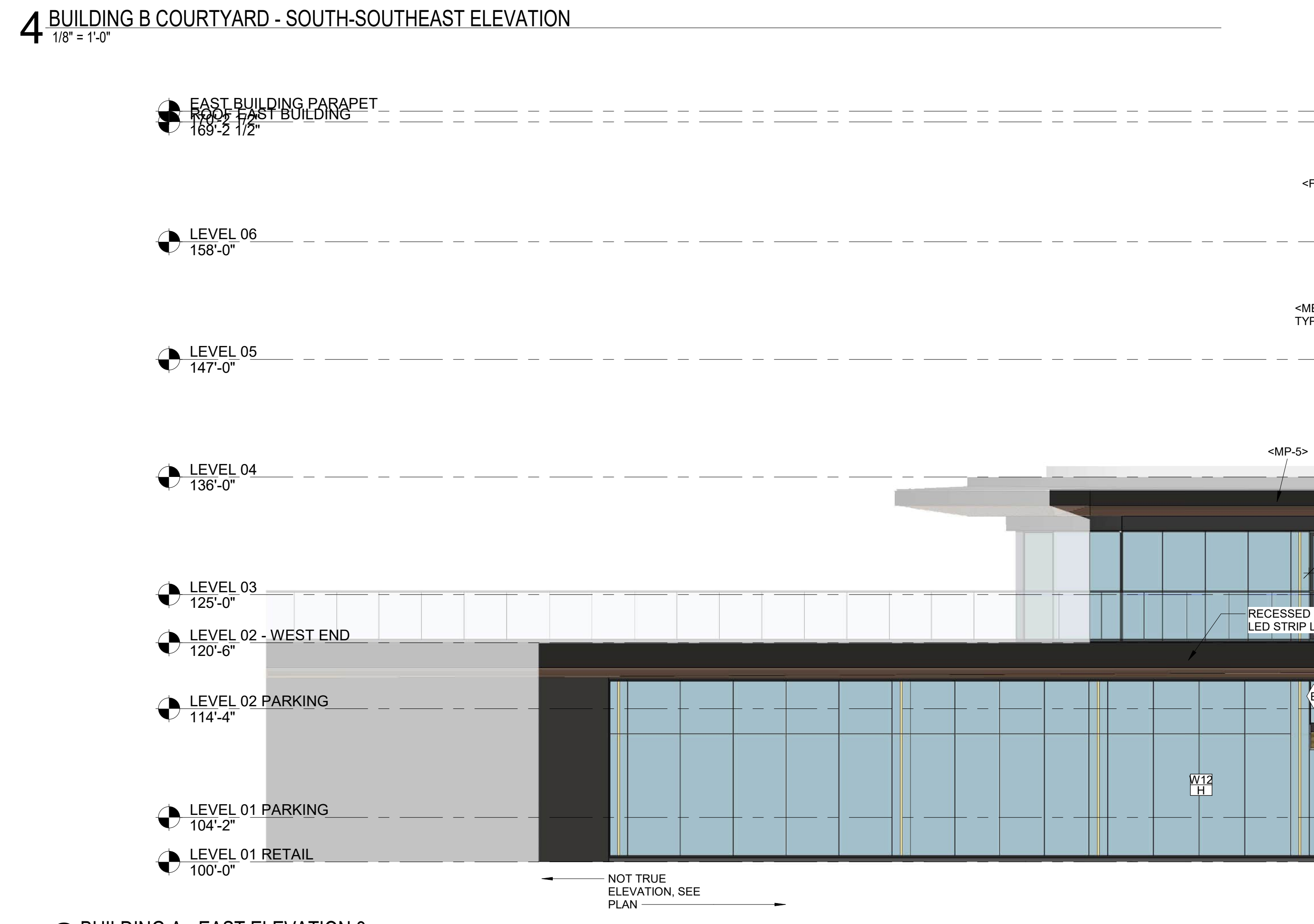
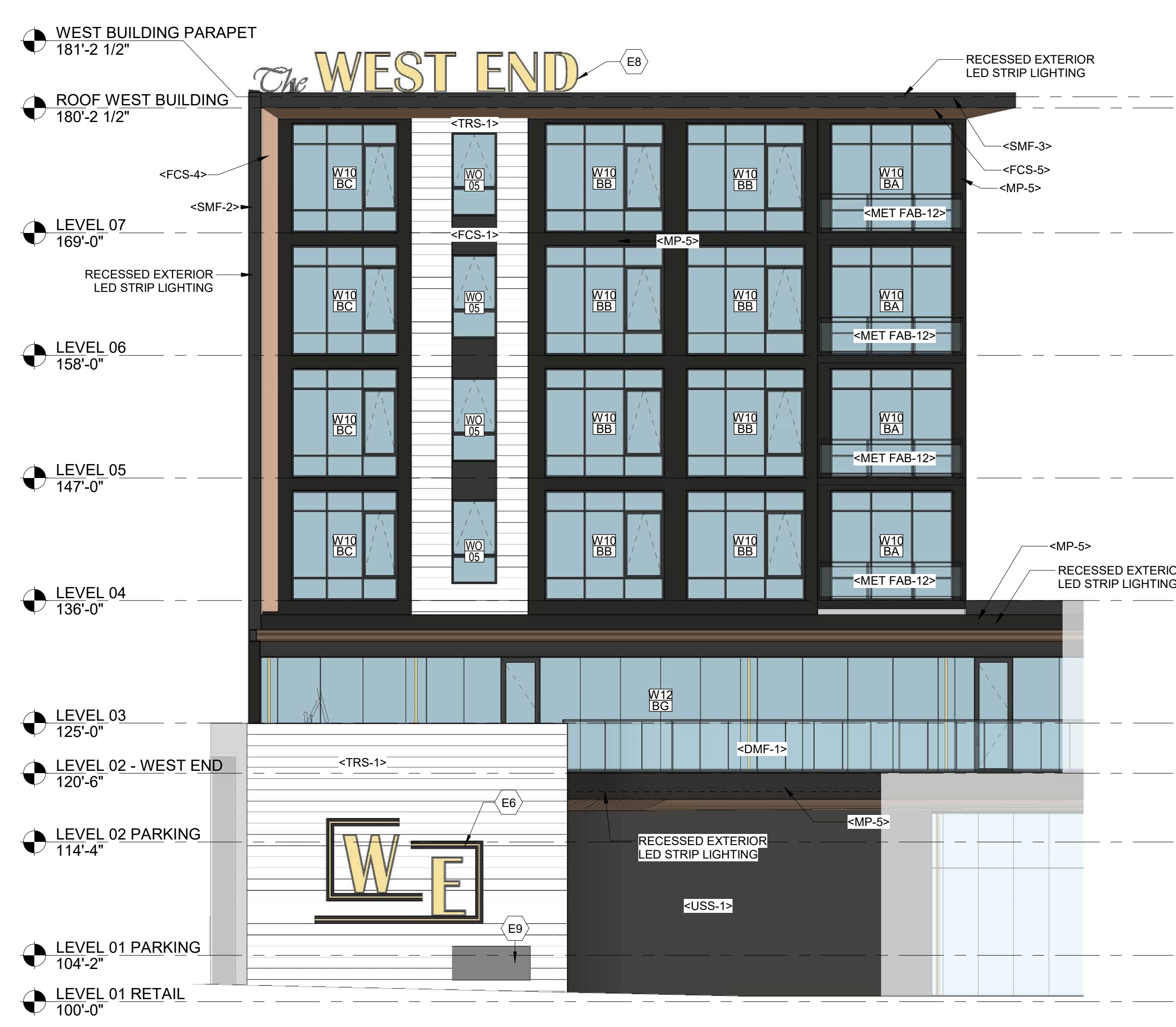
**KEY NOTES**

- E5 TENANT PROVIDED SIGNAGE. PROVIDE POWER TO RACEWAY.
- E6 MONUMENT SIGNAGE. PROVIDE POWER TO RACEWAY.
- E7 PARKING BLADE SIGNAGE. PROVIDE POWER & DATA TO RACEWAY.
- E8 INDIVIDUALLY ROUTED, BACKLIT, ALUMINUM LETTER SIGNAGE. PROVIDE POWER.
- E9 FIRE PUMP METERS. COORDINATE WITH DESIGN/BUILD MEFP/ CONTRACTOR
- E10 ENTRY CANOPY - MET FAB-14 - STEEL FRAMED CANOPY OVERHANG. PROVIDE ROOF DRAINS AS EROD. BLACK TIE ROD SUPPORTS W/ HPC-1 FINISH PERMITTER SIGNATURE AND STAMP AS FCS-5

**EXTERIOR MATERIAL KEY**

<b>&lt;FCS-1&gt;</b>	NICHPANEL SMOOTH COLOR: BLACK	<b>&lt;USS-12&gt;</b>	COSENTINO DEKTON W/ CONCEALED FASTENERS COLOR: DOMINOES
<b>&lt;FCS-2&gt;</b>	NICHPANEL DIMENSION SERIES, RIBBED COLOR: CUSTOM BLACK	<b>&lt;TRS-1&gt;</b>	AVENERE: NEACERA TERRA COTTA RAINSCREEN SYSTEM COLOR: GLOSS WHITE
<b>&lt;FCS-3&gt;</b>	NICHPANEL DIMENSION SERIES, RIBBED COLOR: IVORY	<b>&lt;DCMU-2&gt;</b>	ECHOLON CORDOVA STONE PRECAST MASONRY SILL COLOR: BUFF GROUND FACE
<b>&lt;MV-1&gt;</b>	HEBRON BRICK VENEER, UTILITY SIZE COLOR: OPUS	<b>&lt;FCS-4&gt;</b>	NICHPANEL WOOD SERIES, VINTAGEWOOD COLOR: CEDAR
<b>&lt;SMF-3&gt;</b>	BREAK METAL TRIM COLOR: BLACK	<b>&lt;FCS-5&gt;</b>	NICHPANEL WOOD SERIES, VINTAGEWOOD COLOR: CEDAR
<b>&lt;MP-4&gt;</b>	METAL PANEL WALL SYSTEM COLOR: BLACK	<b>&lt;FCS-6&gt;</b>	NICHPANEL SMOOTH COLOR: CUSTOM
<b>&lt;APC-1&gt;</b>	PRECAST WALL PANEL - SMOOTH FORMED FINISH	<b>&lt;APC-2&gt;</b>	PRECAST WALL PANEL - RIBBED FINISH - FECKLI - US FORMLINER APPLICATION - 2/189 COLUMBIA
<b>&lt;DCMU-1&gt;</b>	ECHOLON CORDOVA STONE COLOR: MIDNIGHT		

\*NOTE: EXTERIOR MATERIALS ARE FOR DESIGN INTENT, AND SUBJECT TO CHANGE PENDING BUDGETARY AND CONSTRUCTION NEEDS



△ Revisions

DESIGN DEVELOPMENT SET

THE CORNERS OF BROOKFIELD: PHASE II

20111 W BLUEMOUND ROAD  
 BROOKFIELD, WI 53005  
 Date issued: 12/19/2025  
 RINKA project #: 23203  
 Sheet Title

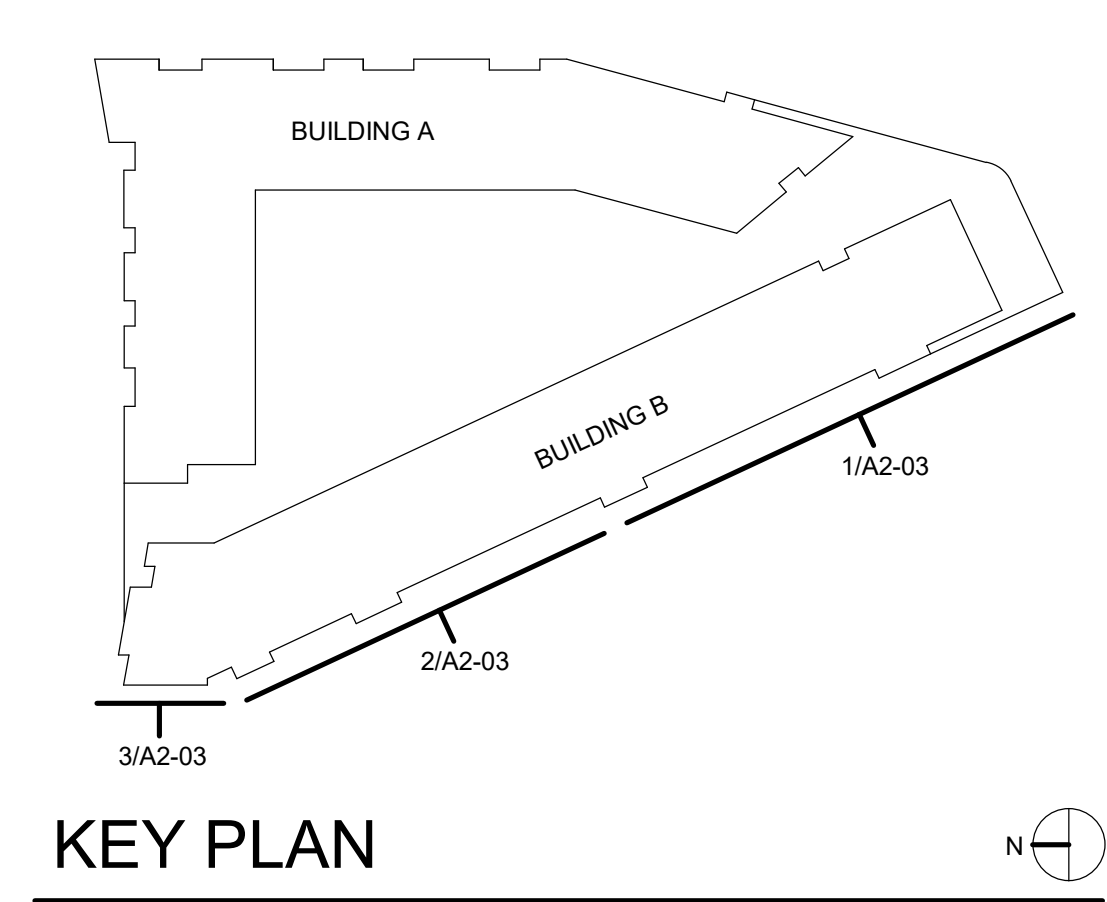
EXTERIOR ELEVATIONS

Sheet # **A2-02**

NOT FOR CONSTRUCTION

**GENERAL NOTES: EXT. ELEVATIONS**

- SEE SHEET G1-03 THRU G1-08 FOR ADDITIONAL PROJECT INFORMATION
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**KEY PLAN**

**KEY NOTES**

- E6 MONUMENT SIGNAGE. PROVIDE POWER TO RACEWAY.
- E8 INDIVIDUALLY ROUTED, BACKLIT, ALUMINUM LETTER SIGNAGE. PROVIDE POWER
- E9 FIRE PUMP METERS. COORDINATE WITH DESIGN/BUILD/MEFPY CONTRACTOR

**EXTERIOR MATERIAL KEY**

<b>&lt;FCS-1&gt;</b> NICHIPANEL SMOOTH NICHIPANEL COLOR: BLACK	<b>&lt;LUS-1&gt;</b> COSENTINO DEKTON W/ CONCEALED FASTENERS COLOR: EGOMOS
<b>&lt;FCS-2&gt;</b> NICHIPA DIMENSION SERIES, RIBBED NICHIPA DIMENSION SERIES, RIBBED COLOR: CUSTOM BLACK	<b>&lt;TRS-1&gt;</b> AVENERE NEACERA TERRA COTTA RAINSCREEN SYSTEM COLOR: GLOSS WHITE
<b>&lt;FCS-3&gt;</b> NICHIPA DIMENSION SERIES, RIBBED NICHIPA DIMENSION SERIES, RIBBED COLOR: IVORY	<b>&lt;DCMU-2&gt;</b> ECHOLON CORDOVA STONE PRECAST MASONRY SILL COLOR: BUFF GROUND FACE
<b>&lt;MV-1&gt;</b> HEBRON BRICK VENEER, UTILITY SIZE COLOR: OPUS	<b>&lt;FCS-4&gt;</b> NICHIPA WOOD SERIES, VINTAGEWOOD COLOR: CEDAR
<b>&lt;SMF-3&gt;</b> BREAK METAL TRIM COLOR: BLACK	<b>&lt;FCS-5&gt;</b> NICHIPA WOOD SERIES, VINTAGEWOOD COLOR: CEDAR
<b>&lt;MP-4&gt;</b> METAL PANEL WALL SYSTEM COLOR: BLACK	<b>&lt;FCS-6&gt;</b> NICHIPANEL SMOOTH COLOR: CUSTOM
<b>&lt;APC-1&gt;</b> PRECAST WALL PANEL - SMOOTH FORMED FINISH	<b>&lt;APC-2&gt;</b> PRECAST WALL PANEL - RIBBED FINISH - RECALL US FORMLINER APPLICATION -2169 COLUMBIA
<b>&lt;DCMU-1&gt;</b> ECHOLON CORDOVA STONE COLOR: MIDNIGHT	

**NOTE: EXTERIOR MATERIALS ARE FOR DESIGN INTENT, AND SUBJECT TO CHANGE PENDING BUDGETARY AND CONSTRUCTION NEEDS**



**3 BUILDING B - WEST ELEVATION 3**  
1/8" = 1'-0"



**2 BUILDING B - WEST ELEVATION 2**  
1/8" = 1'-0"



**1 BUILDING B - WEST ELEVATION 1**  
1/8" = 1'-0"

Revisions

DESIGN DEVELOPMENT SET  
 THE CORNERS OF BROOKFIELD: PHASE II

20111 W BLUEMOUND ROAD  
 BROOKFIELD, WI 53045  
 Date issued: 12/19/2025  
 RINKA project #: 23203  
 Sheet Title

EXTERIOR ELEVATIONS  
 Sheet # **A2-03**

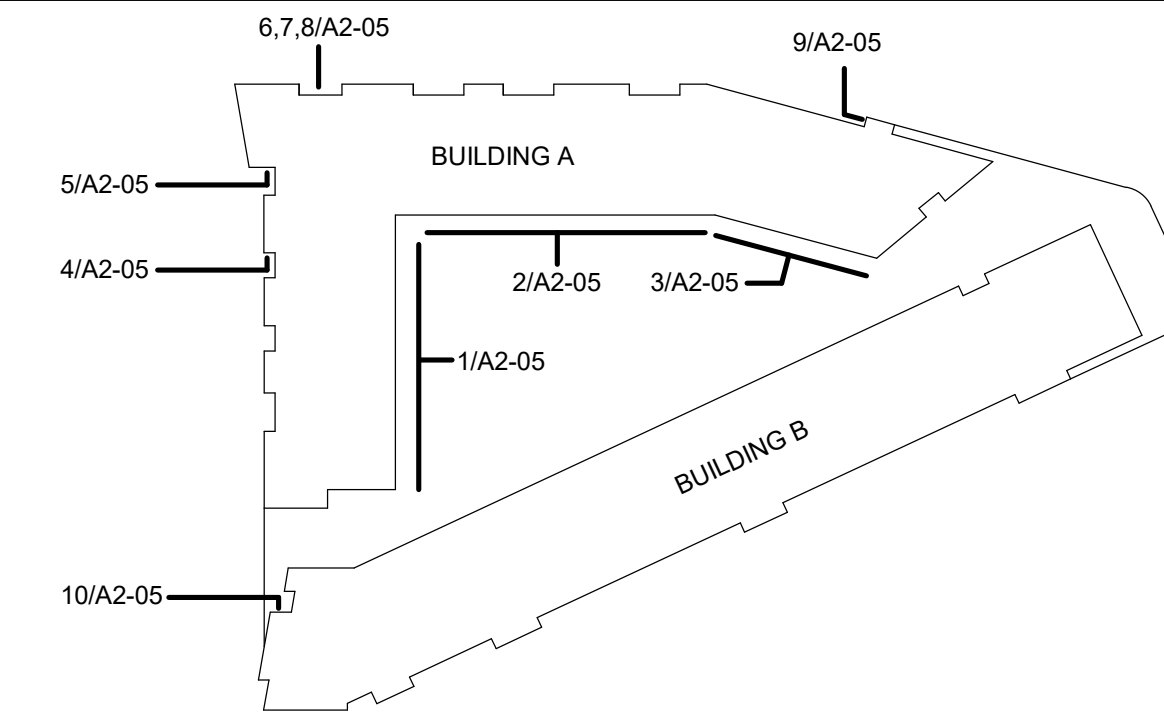
NOT FOR CONSTRUCTION



**EXTERIOR MATERIAL KEY**

<FCS-1>	NICHIPANEL, SMOOTH COLOR: BLACK	<JBS-1>	COSENTINO, DEKTON W/ CONCEALED FASTENERS COLOR: DOMOOS
<FCS-2>	NICHHA, DIMENSION SERIES, RIBBED COLOR: CUSTOM BLACK	<TRS-1>	AVENIRE, NEACERA TERRA, COTTA RAINSCREEN SYSTEM COLOR: GLOSS WHITE
<FCS-3>	NICHHA, DIMENSION SERIES, RIBBED COLOR: IVORY	<DCMU-2>	ECHELON CORDOVA STONE PRECAST MASONRY SILL COLOR: BUFF GROUND FACE
<MV-1>	HEBRON BRICK VENEER, UTILITY SIZE COLOR: OPUS	<FCS-4>	NICHHA, WOOD SERIES, VINTAGEWOOD COLOR: CEDAR
<SMF-3>	BREAK METAL TRIM COLOR: BLACK	<FCS-5>	NICHHA, WOOD SERIES, VINTAGEWOOD COLOR: CEDAR
<MP-4> <MP-5>	METAL PANEL WALL SYSTEM COLOR: BLACK	<FCS-6>	NICHIPANEL SMOOTH COLOR: CUSTOM
<APC-1>	PRECAST WALL PANEL - SMOOTH FORMED FINISH	<APC-2>	PRECAST WALL PANEL - RIBBED FINISH - RECOL - US FORMLINER APPLICATION - 2169 COLUMBIA
<DCMU-1>	ECHELON CORDOVA STONE COLOR: MIDNIGHT		

\*NOTE: EXTERIOR MATERIALS ARE FOR DESIGN INTENT, AND SUBJECT TO CHANGE PENDING BUDGETARY AND CONSTRUCTION NEEDS

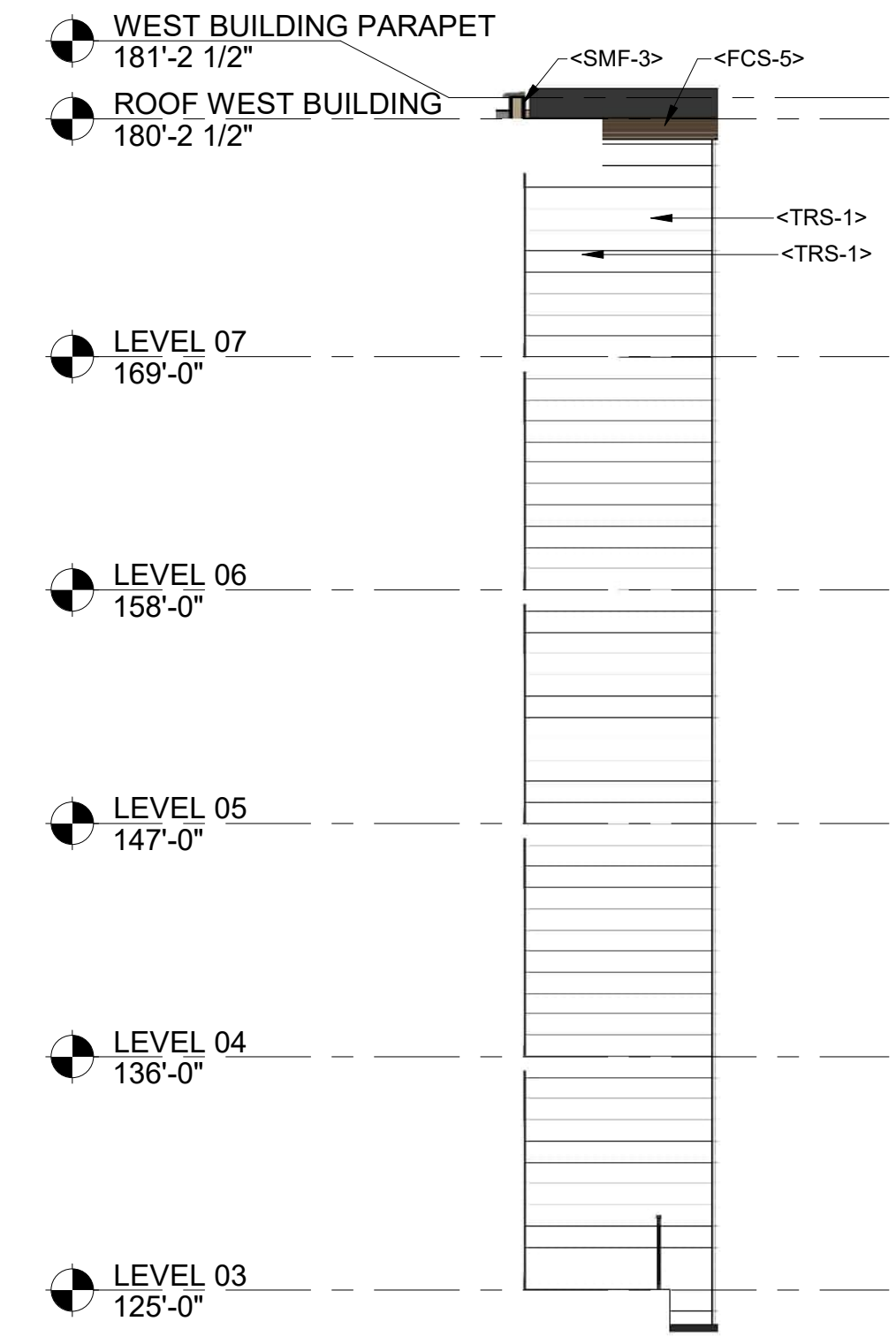


**KEY PLAN**

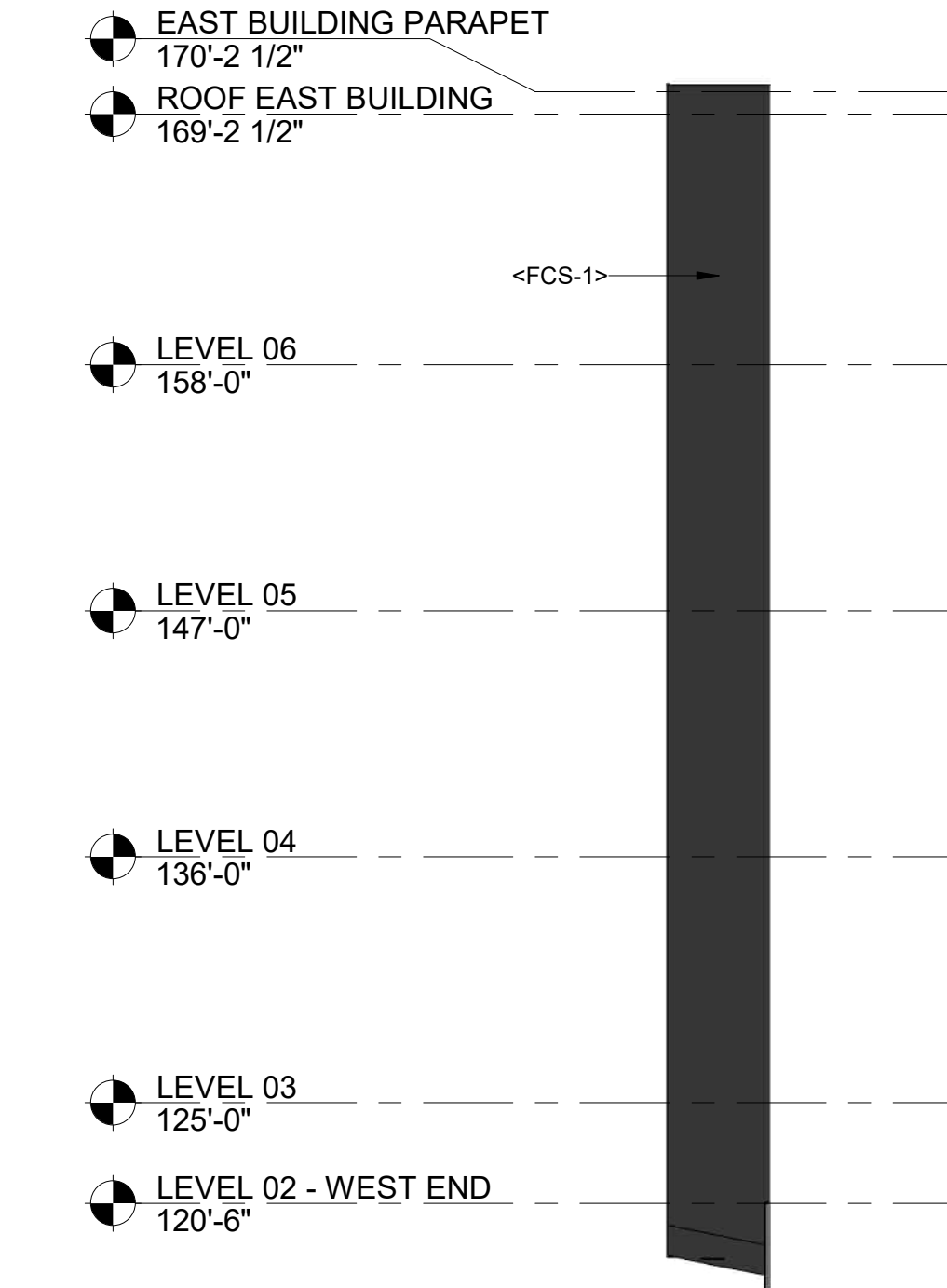
**GENERAL NOTES: EXT. ELEVATIONS**

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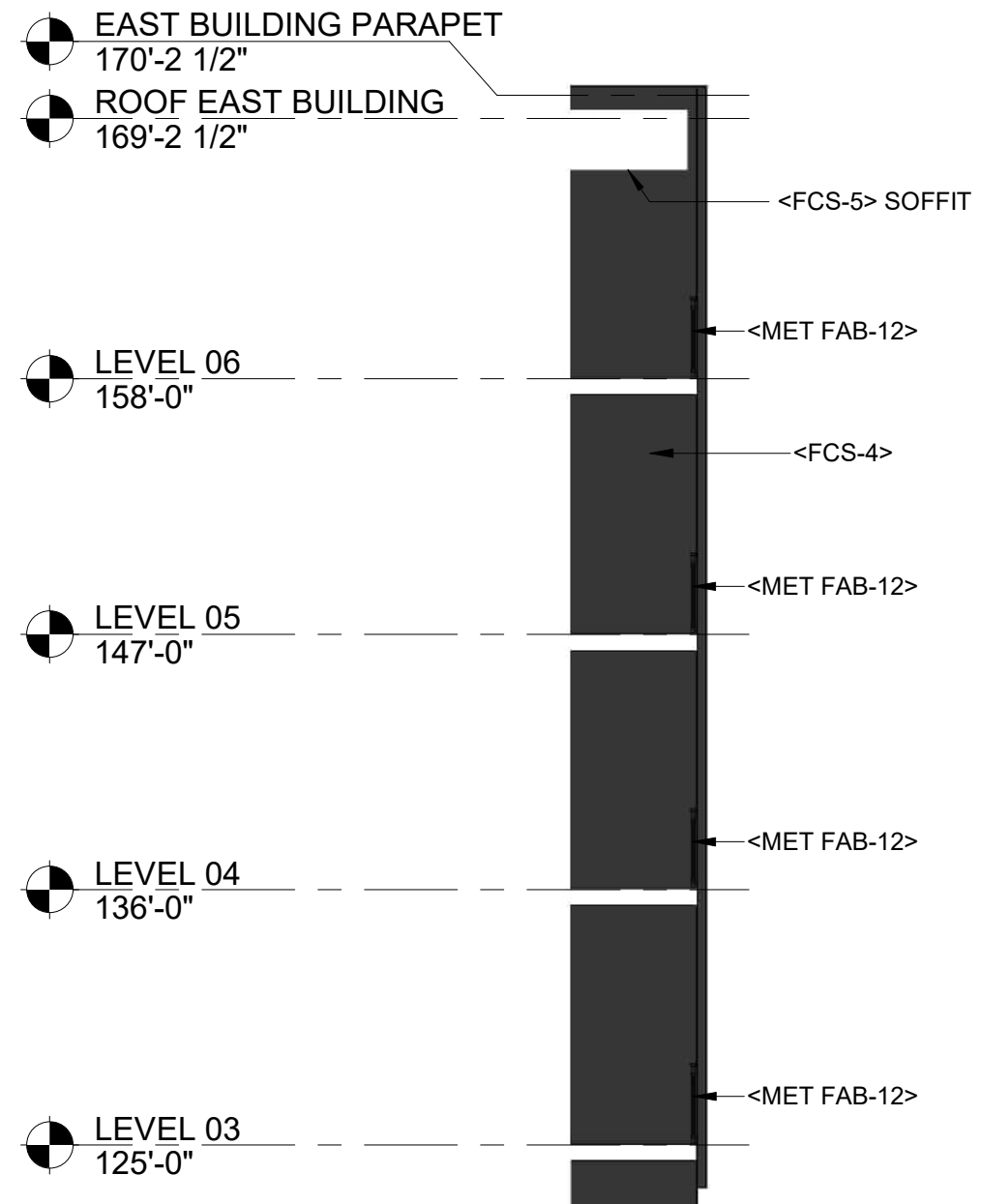
**KEY NOTES**



**10 BUILDING B - NORTH BALCONY RETURN**  
1/8" = 1'-0"



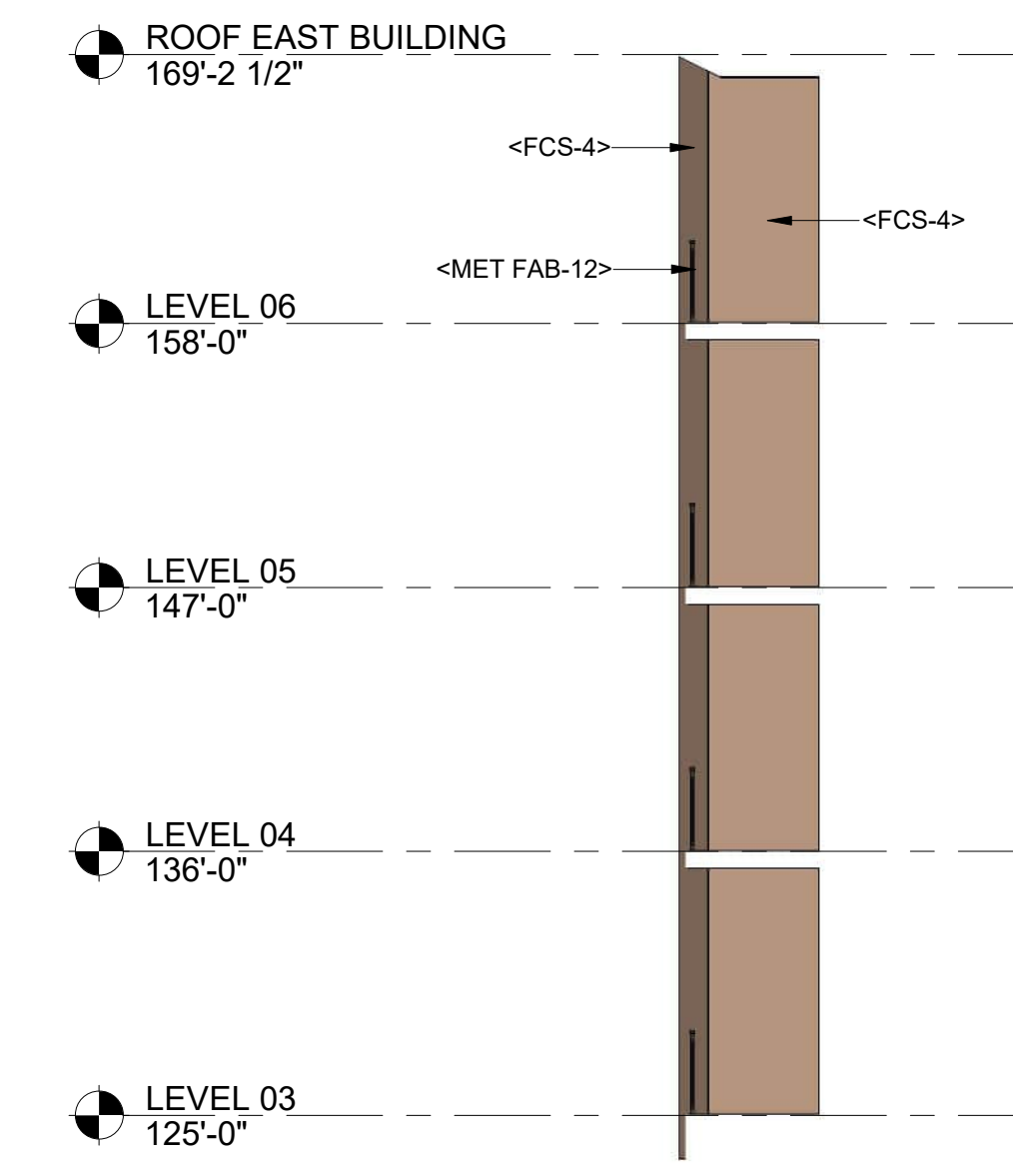
**9 BUILDING A - WEST RETURN ELEVATION**  
1/8" = 1'-0"



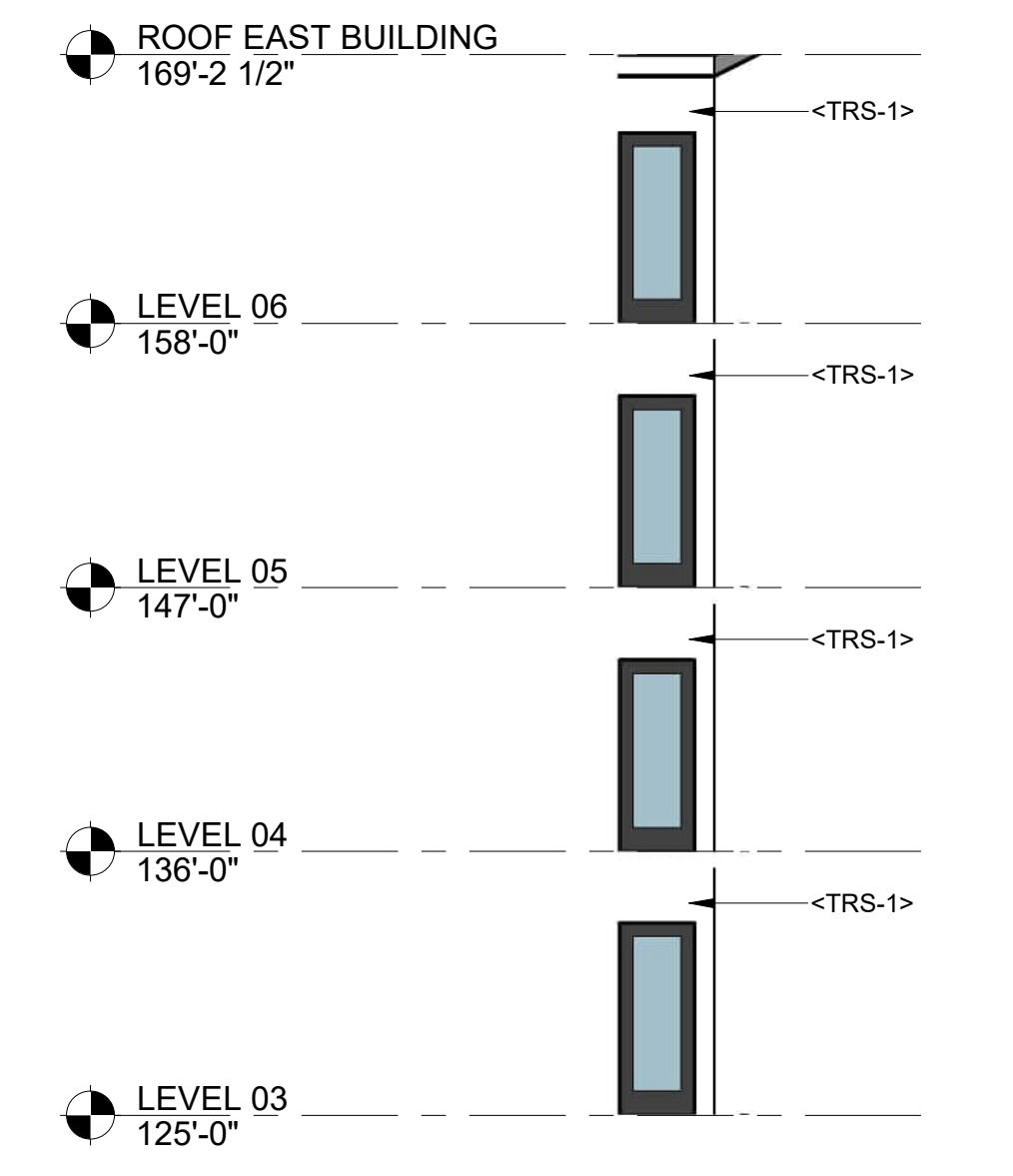
**8 BUILDING A - EAST BALCONY DIVIDER 2**  
1/8" = 1'-0"



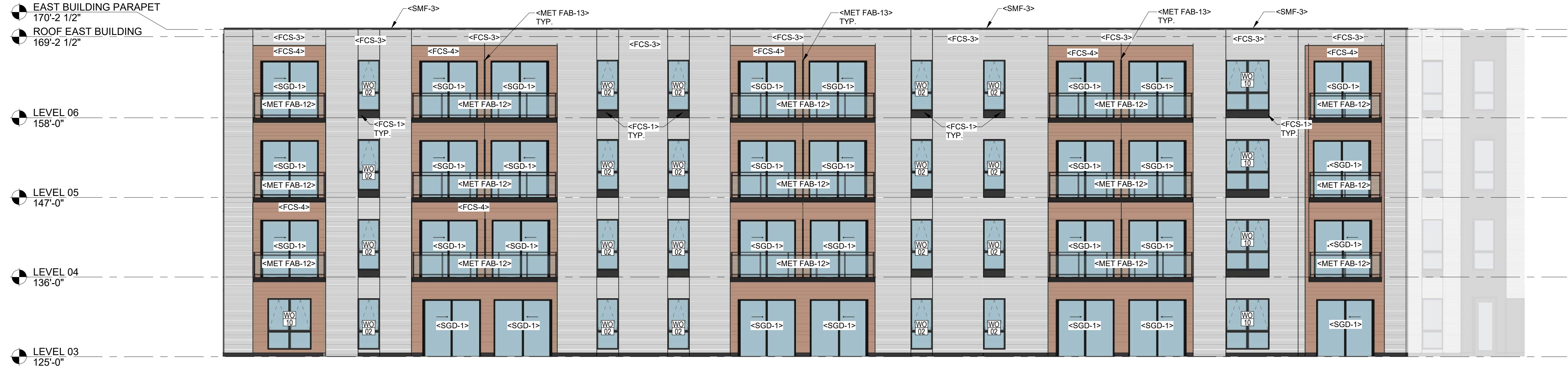
**3 BUILDING B COURTYARD - EAST ELEVATION 2**  
1/8" = 1'-0"



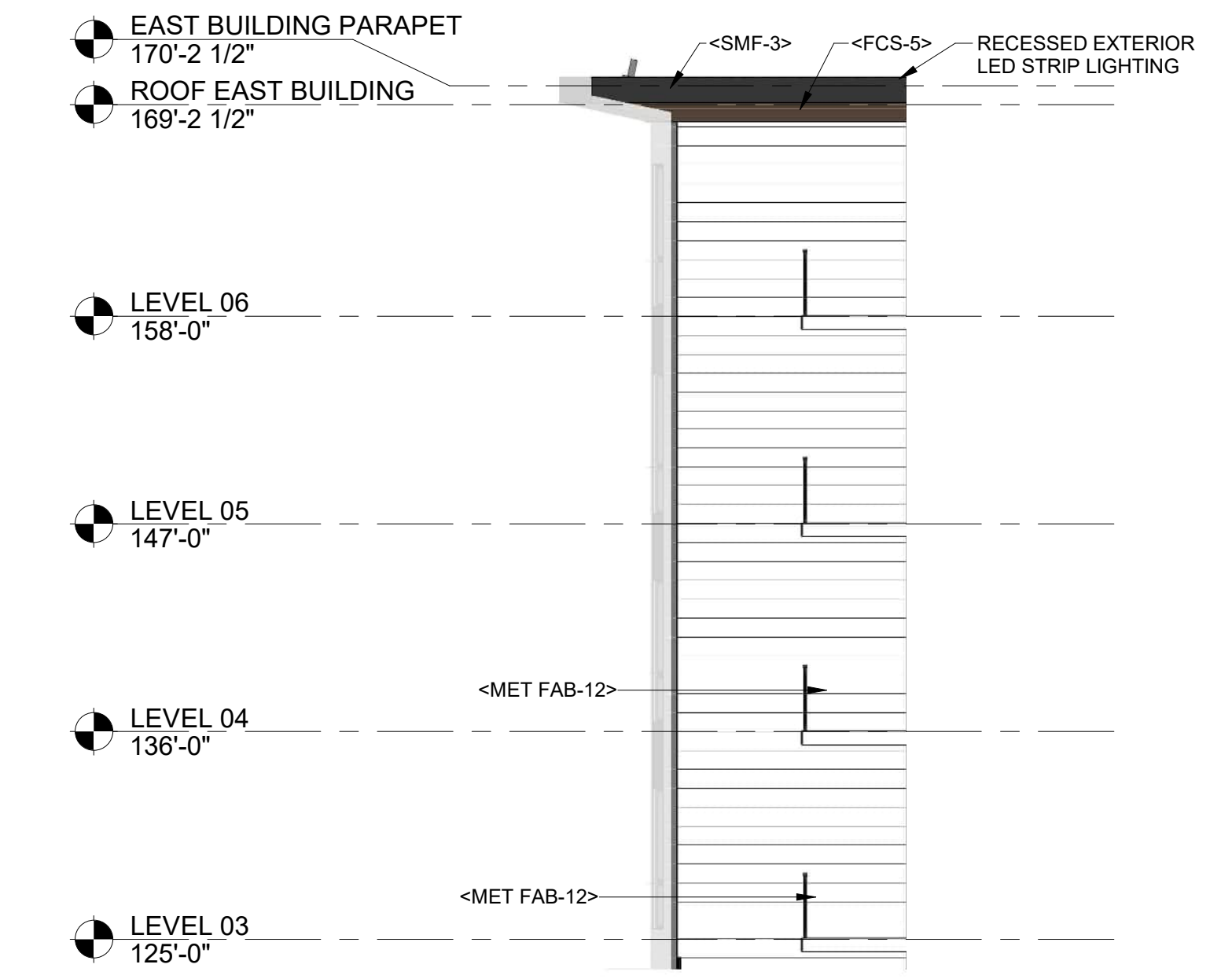
**7 BUILDING A - EAST BALCONY DIVIDER**  
1/8" = 1'-0"



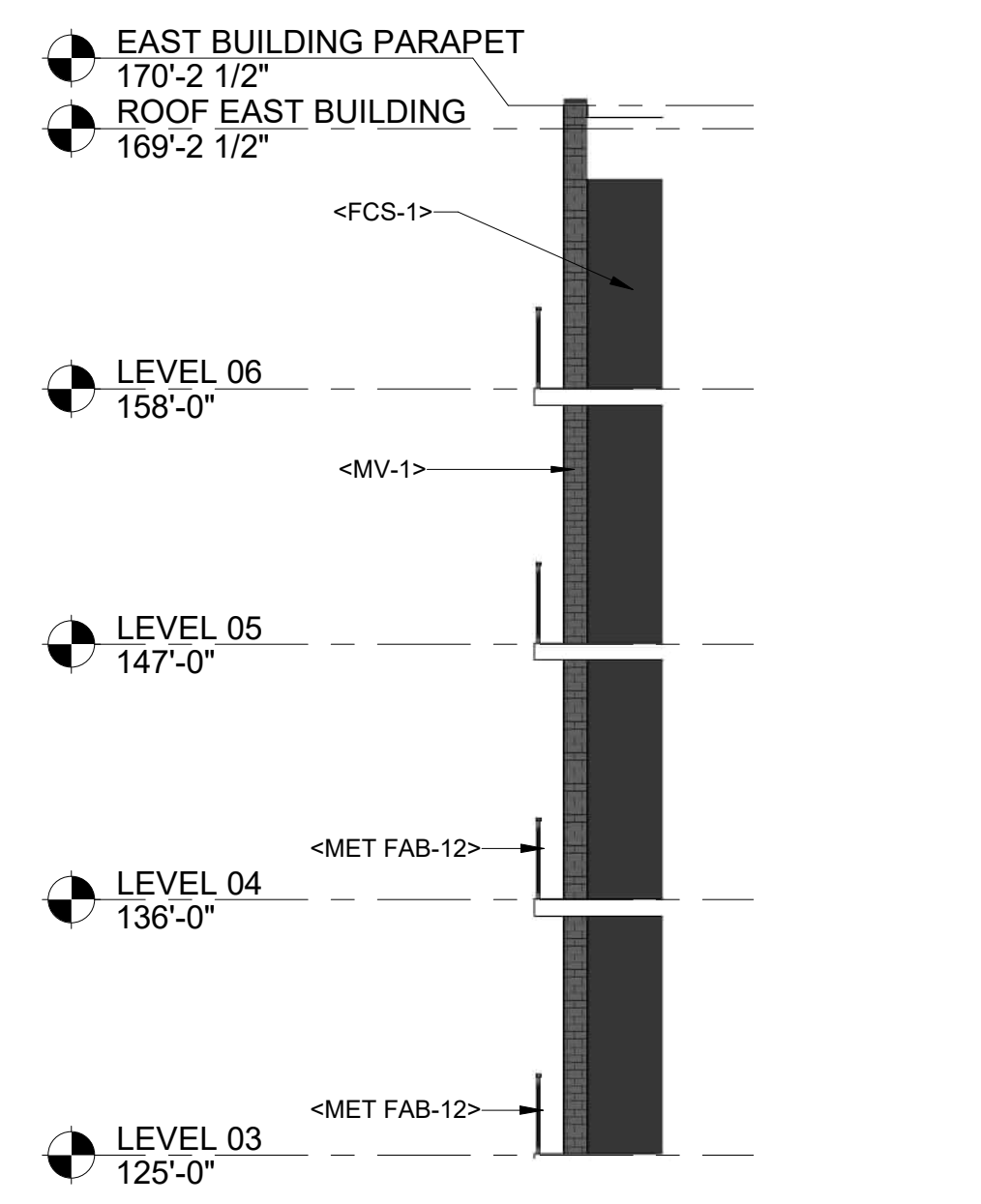
**6 BUILDING A - EAST BALCONY RETURN**  
1/8" = 1'-0"



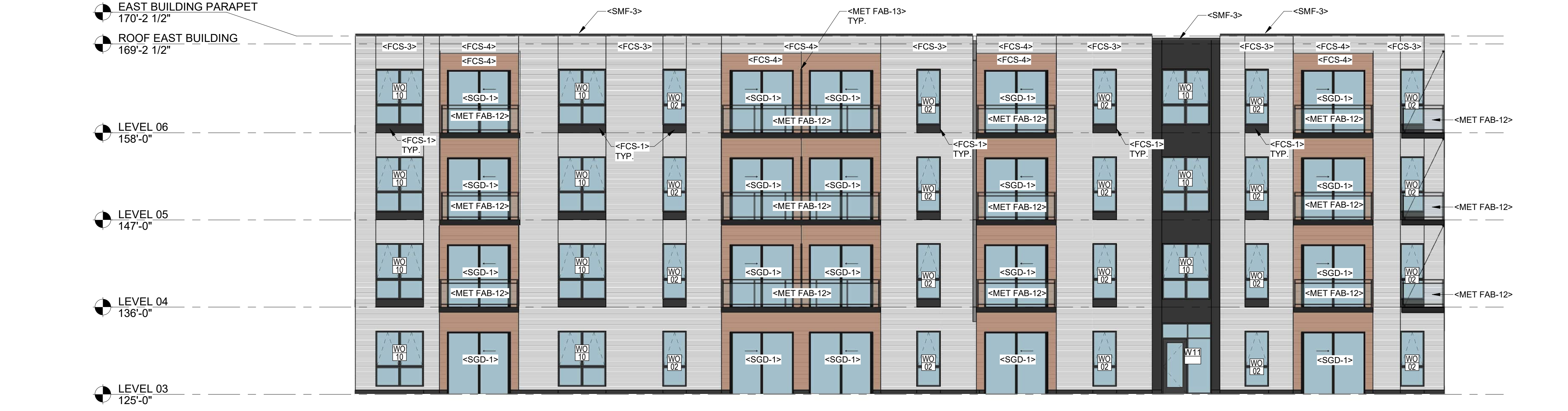
**2 BUILDING A COURTYARD - EAST ELEVATION**  
1/8" = 1'-0"



**5 BUILDING A - NORTH/WEST RETURN ELEVATION**  
1/8" = 1'-0"



**4 BUILDING A - TYP BALCONY RETURN ELEVATION**  
1/8" = 1'-0"



**1 BUILDING A COURTYARD - NORTH ELEVATION**  
1/8" = 1'-0"

**RINKA+**  
2025  
756 North Milwaukee Street, Suite 250  
Milwaukee, Wisconsin 53202  
p 414.431.8101

**im**  
THE CORNERS  
TOWN OF BROOKFIELD

The Corners of Brookfield  
20111 W Bluemound Road  
Brookfield, WI 53045

**MANDEL GROUP**  
Mandel Group  
332 E. Kilbuck Avenue  
Milwaukee, WI 53202

△ Revisions

**DESIGN DEVELOPMENT SET**  
**THE CORNERS OF BROOKFIELD: PHASE II**

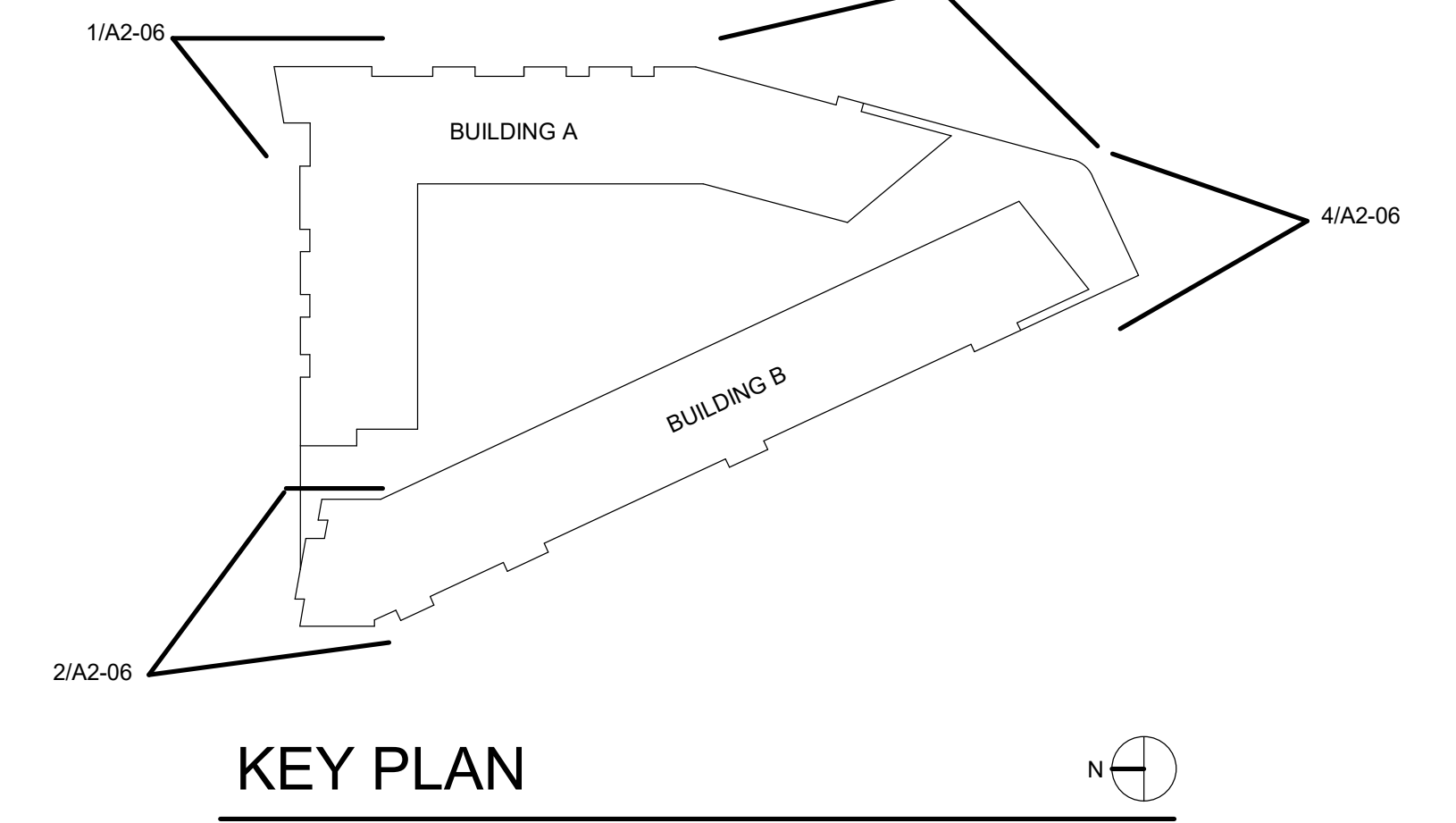
20111 W BLUEMOUND ROAD  
BROOKFIELD, WI 53045  
Date issued: 12/19/2025  
RINKA project #: 23203  
Sheet Title

**EXTERIOR ELEVATIONS**  
Sheet # **A2-05**

NOT FOR CONSTRUCTION

EXTERIOR MATERIAL KEY

<FCS-1> NICHIPANEL SMOOTH COLOR: BLACK	<USS-1> COSENTINO, DEKTON W/ CONCEALED FASTENERS COLOR: DOWOODS
<FCS-2> NICHIPANEL DIMENSION SERIES, RIBBED COLOR: CUSTOM BLACK	<TRS-1> AVENERE, NEACERA TERRA COTTA RAINSCREEN SYSTEM COLOR: GLOSS WHITE
<FCS-3> NICHIPANEL DIMENSION SERIES, RIBBED COLOR: IVORY	<DCMU-2> ECHOLON CORDOVA STONE PRECAST MASONRY SILL COLOR: BUFF GROUND FACE
<MV-1> HEIRION BRICK VENEER, UTILITY SIZE COLOR: OPIUS	<FCS-4> NICHIPANEL WOOD SERIES, VINTAGEWOOD COLOR: CEDAR
<SMF-3> BREAK METAL TRIM COLOR: BLACK	<FCS-5> NICHIPANEL WOOD SERIES, VINTAGEWOOD COLOR: CEDAR
<MP-2> METAL PANEL WALL SYSTEM COLOR: BLACK	<FCS-6> NICHIPANEL SMOOTH COLOR: CUSTOM
<APC-1> PRECAST WALL PANEL - SMOOTH FORMED FINISH	<APC-2> PRECAST WALL PANEL - RIBBED FINISH - RECALL US FORMLINER APPLICATION -2169 COLUMBIA
<DCMU-1> ECHOLON CORDOVA STONE COLOR: MIDNIGHT	



\*NOTE: EXTERIOR MATERIALS ARE FOR DESIGN INTENT, AND SUBJECT TO CHANGE PENDING BUDGETARY AND CONSTRUCTION NEEDS



4 PERSPECTIVE - SOUTHEAST CORNER  
1/2" = 1'-0"



2 PERSPECTIVE - NORTH WEST CORNER  
NTS



3 PERSPECTIVE - EAST CORNER  
1/2" = 1'-0"



1 PERSPECTIVE - NORTH EAST CORNER  
1/2" = 1'-0"

△ Revisions

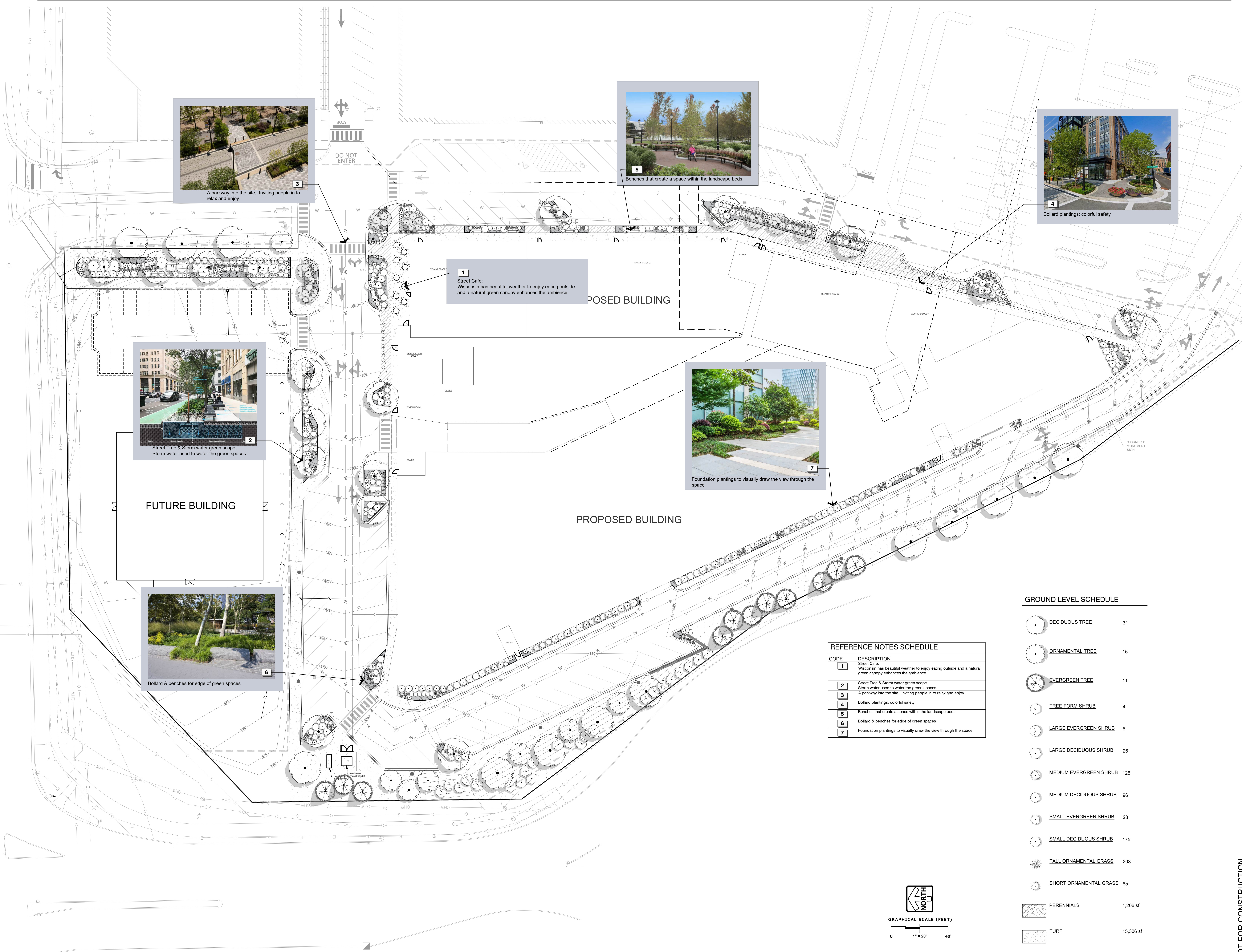
DESIGN  
DEVELOPMENT  
SET  
THE CORNERS OF  
BROOKFIELD:  
PHASE II

20111 W BLUEMOUND ROAD  
BROOKFIELD, WI 53045  
Date Issued: 12/19/2025  
RINKA project #: 23203  
Sheet Title

BUILDING  
PERSPECTIVES

Sheet # A2-06

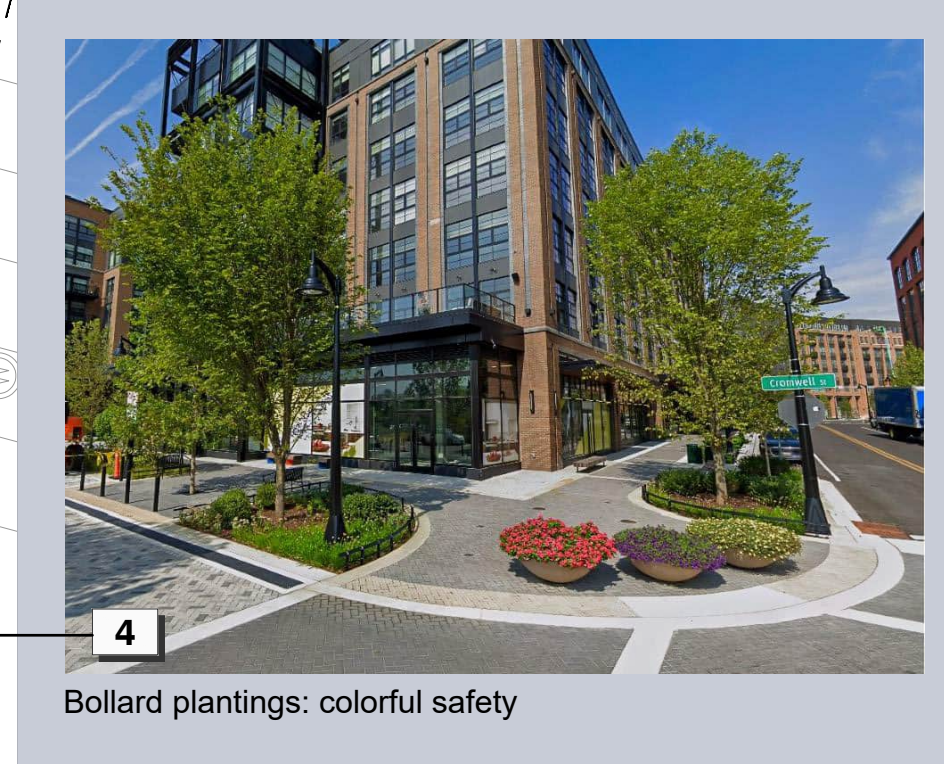
NOT FOR CONSTRUCTION



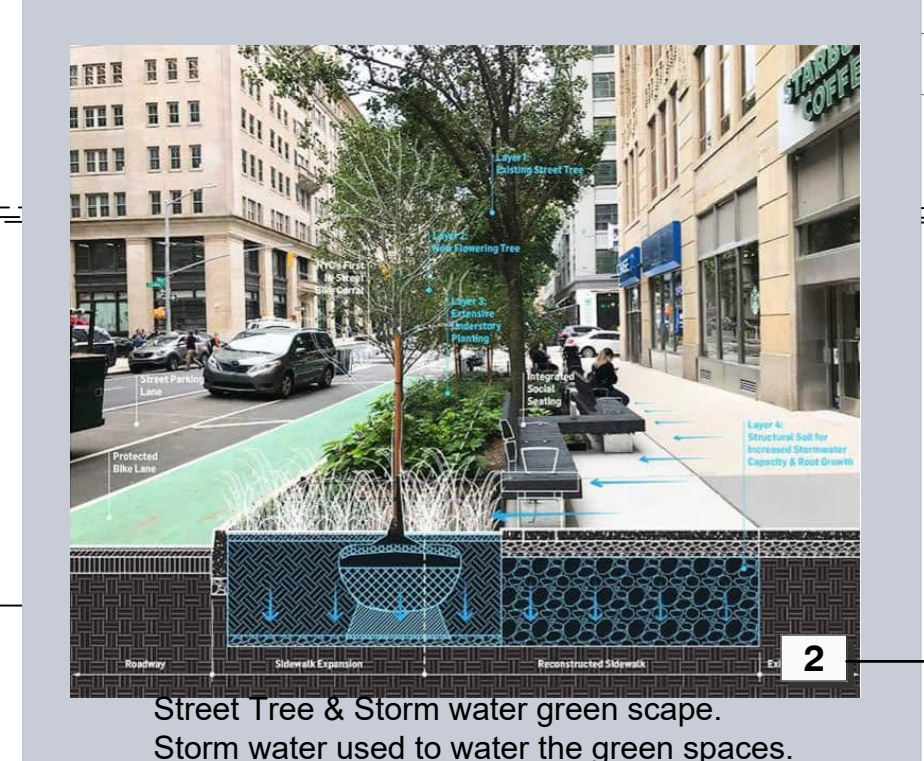
**3**  
A parkway into the site. Inviting people in to relax and enjoy.



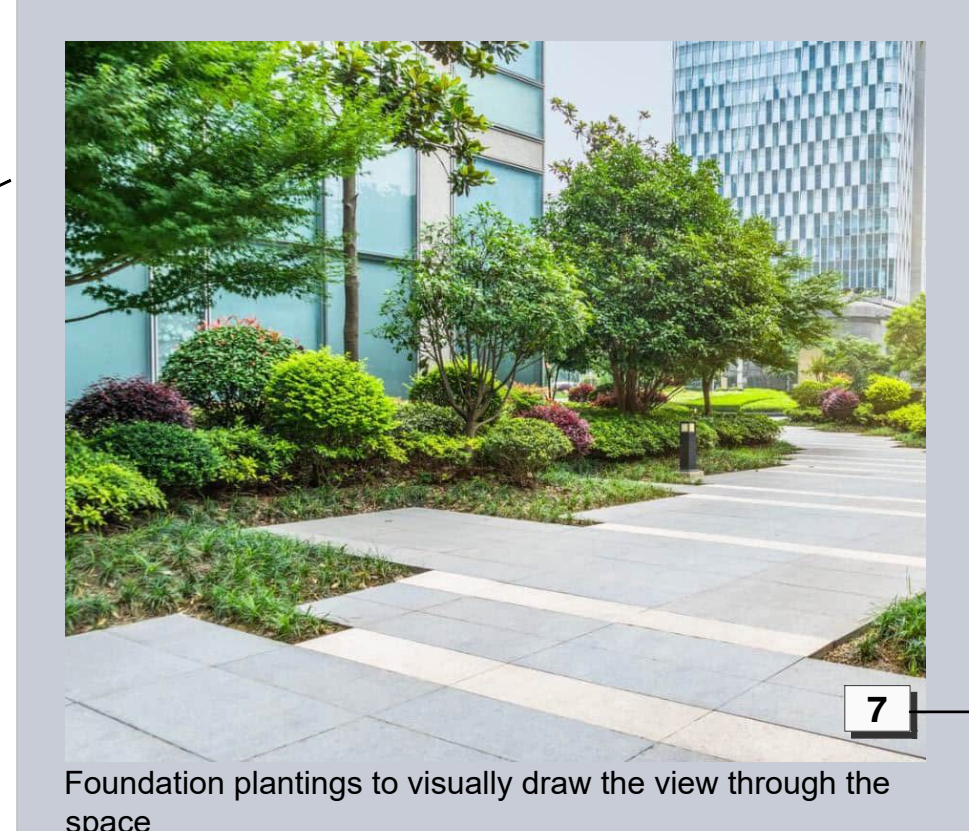
**5**  
Benches that create a space within the landscape beds.



**4**  
Bollard plantings: colorful safety



**2**  
Street tree & Storm water green scape. Storm water used to water the green spaces.



**7**  
Foundation plantings to visually draw the view through the space



**6**  
Bollard & benches for edge of green spaces

**1**  
Street Cafe:  
Wisconsin has beautiful weather to enjoy eating outside and a natural green canopy enhances the ambience

CODE	DESCRIPTION
<b>1</b>	Street Cafe: Wisconsin has beautiful weather to enjoy eating outside and a natural green canopy enhances the ambience
<b>2</b>	Street Tree & Storm water green scape. Storm water used to water the green spaces.
<b>3</b>	A parkway into the site. Inviting people in to relax and enjoy.
<b>4</b>	Bollard plantings: colorful safety
<b>5</b>	Benches that create a space within the landscape beds.
<b>6</b>	Bollard & benches for edge of green spaces
<b>7</b>	Foundation plantings to visually draw the view through the space

**GROUND LEVEL SCHEDULE**

	DECIDUOUS TREE	31
	ORNAMENTAL TREE	15
	EVERGREEN TREE	11
	TREE FORM SHRUB	4
	LARGE EVERGREEN SHRUB	8
	LARGE DECIDUOUS SHRUB	26
	MEDIUM EVERGREEN SHRUB	125
	MEDIUM DECIDUOUS SHRUB	96
	SMALL EVERGREEN SHRUB	28
	SMALL DECIDUOUS SHRUB	175
	TALL ORNAMENTAL GRASS	208
	SHORT ORNAMENTAL GRASS	85
	PERENNIALS	1,206 sf
	TURF	15,306 sf

△ Revisions

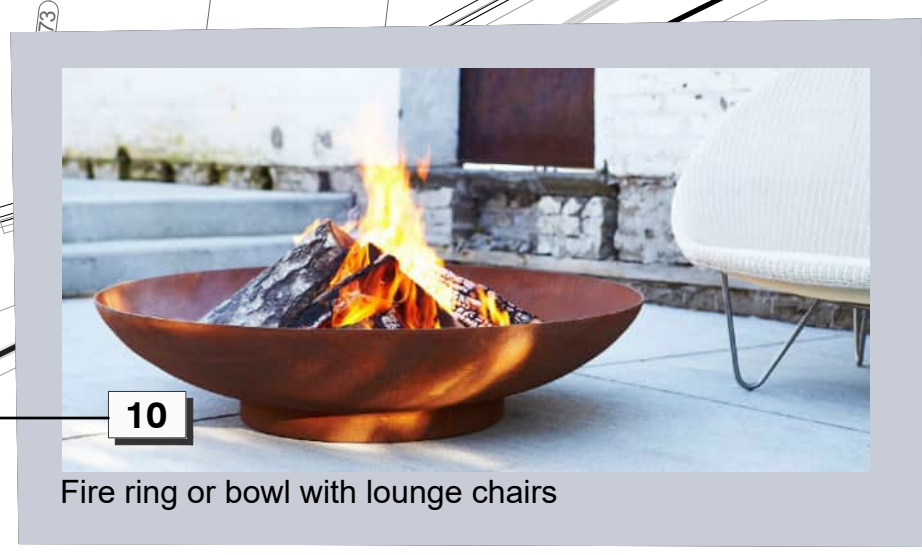
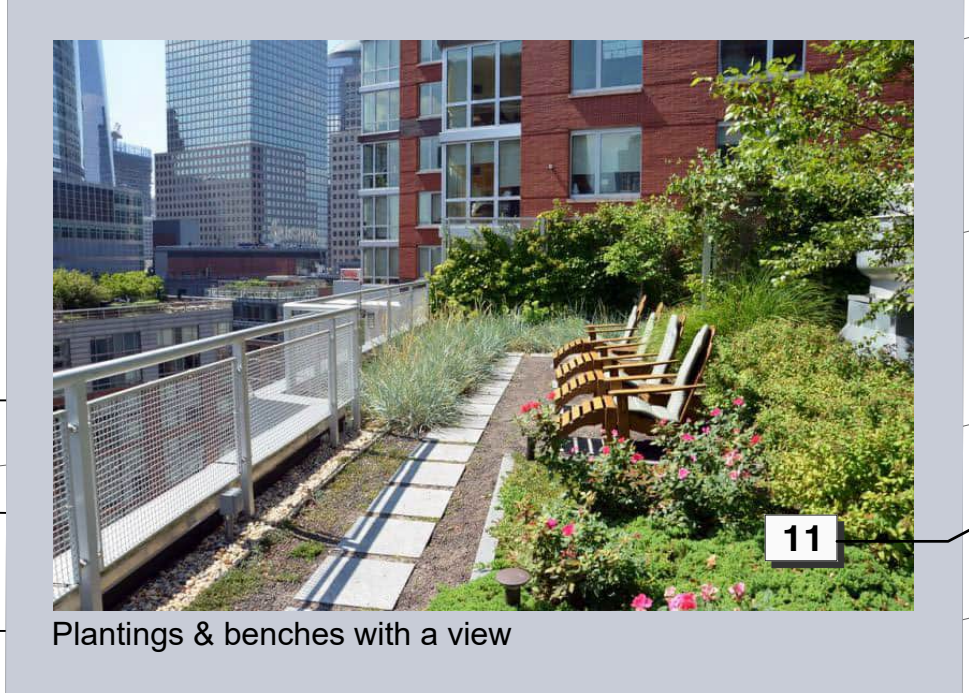
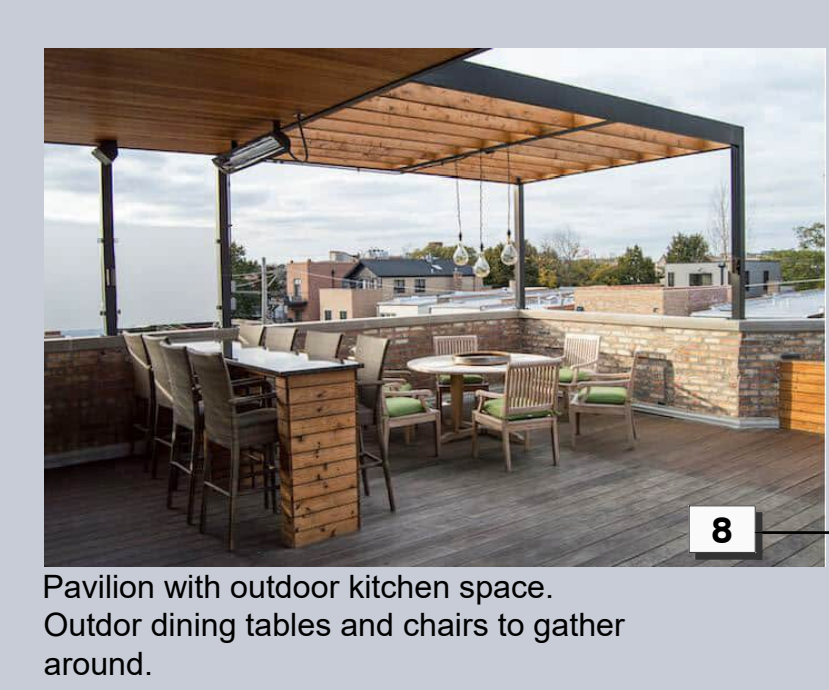
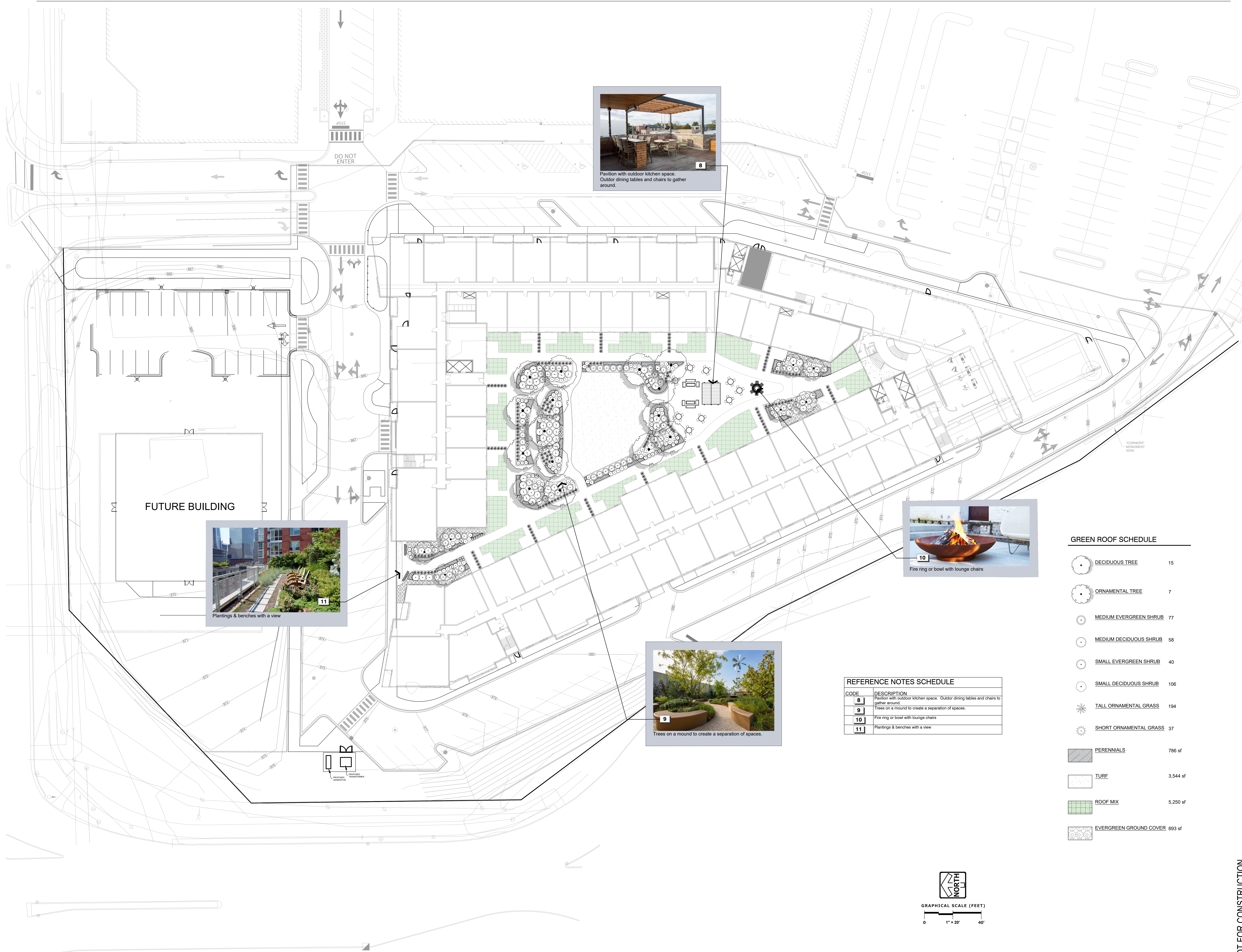
**THE CORNERS OF BROOKFIELD: PHASE II**

20111 W BLUEMOUND ROAD  
BROOKFIELD, WI 53045  
Date Issued: 09/20/2024  
RINKA project #: 23203  
Sheet Title

**LANDSCAPE PLAN**

Sheet # **L1-01**

NOT FOR CONSTRUCTION

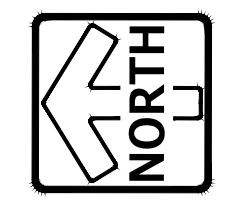


**GREEN ROOF SCHEDULE**

	DECIDUOUS TREE	15
	ORNAMENTAL TREE	7
	MEDIUM EVERGREEN SHRUB	77
	MEDIUM DECIDUOUS SHRUB	58
	SMALL EVERGREEN SHRUB	40
	SMALL DECIDUOUS SHRUB	106
	TALL ORNAMENTAL GRASS	194
	SHORT ORNAMENTAL GRASS	37
	PERENNIALS	786 sf
	TURF	3,544 sf
	ROOF MIX	5,250 sf
	EVERGREEN GROUND COVER	693 sf

**REFERENCE NOTES SCHEDULE**

CODE	DESCRIPTION
8	Pavilion with outdoor kitchen space. Outdoor dining tables and chairs to gather around.
9	Trees on a mound to create a separation of spaces.
10	Fire ring or bowl with lounge chairs
11	Plantings & benches with a view



GRAPHICAL SCALE (FEET)  
0 1" = 20' 40'

△ Revisions

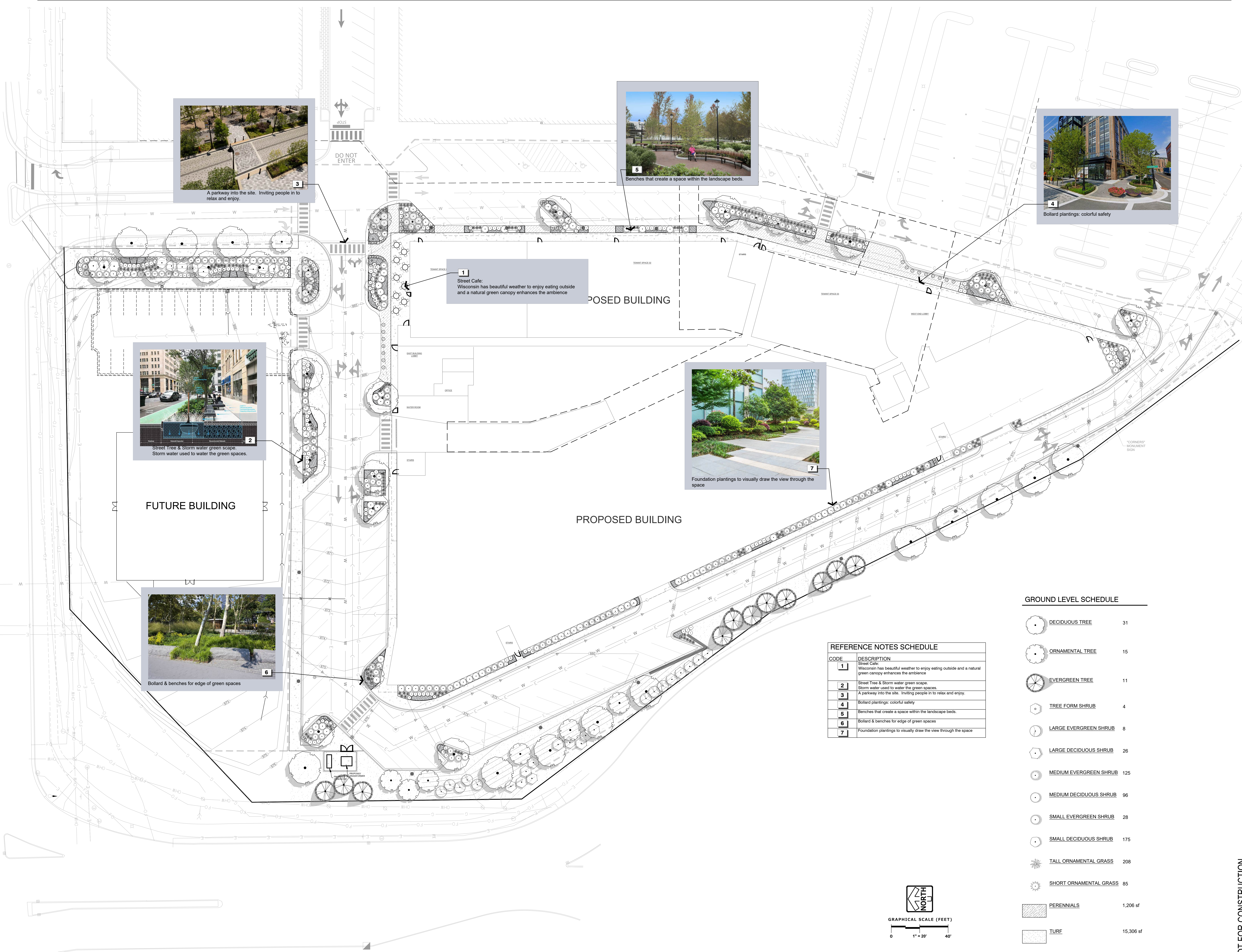
**THE CORNERS OF BROOKFIELD: PHASE II**

20111 W BLUEMOUND ROAD  
BROOKFIELD, WI 53045  
Date Issued: 09/20/2024  
RINKA project #: 23203  
Sheet Title

**LANDSCAPE PLAN GREEN ROOF**

Sheet # **L2-01**

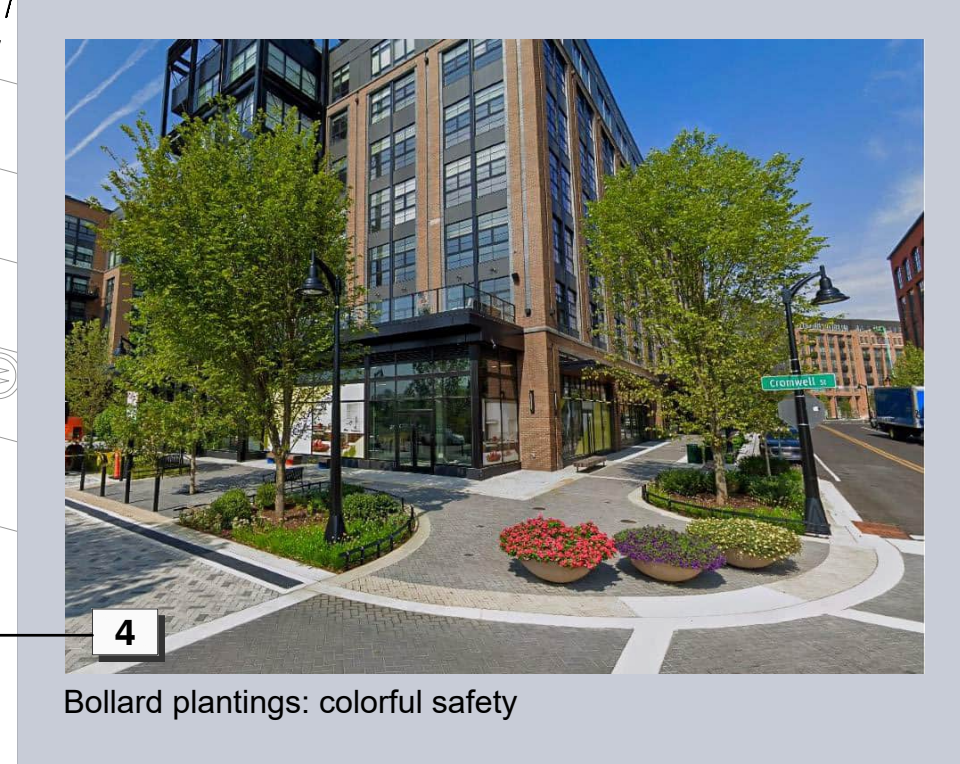
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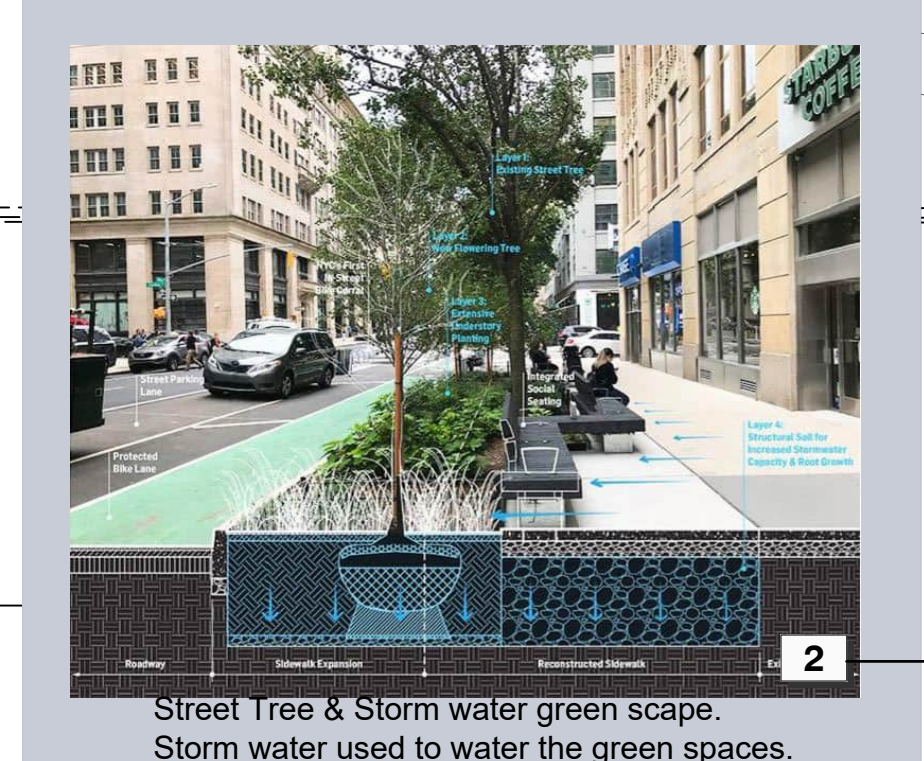
**3**  
A parkway into the site. Inviting people in to relax and enjoy.



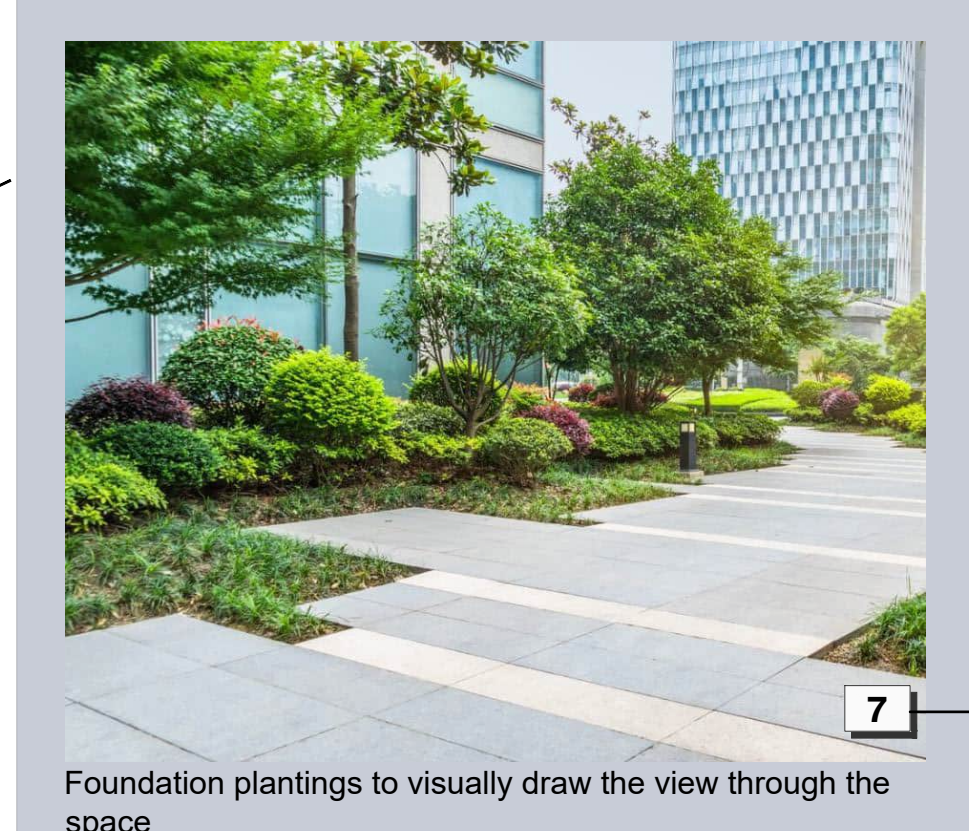
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△ Revisions

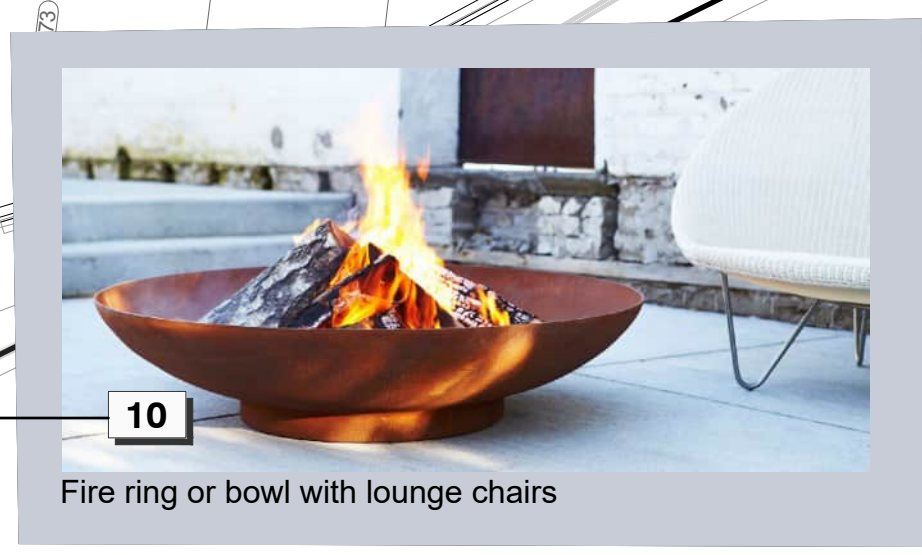
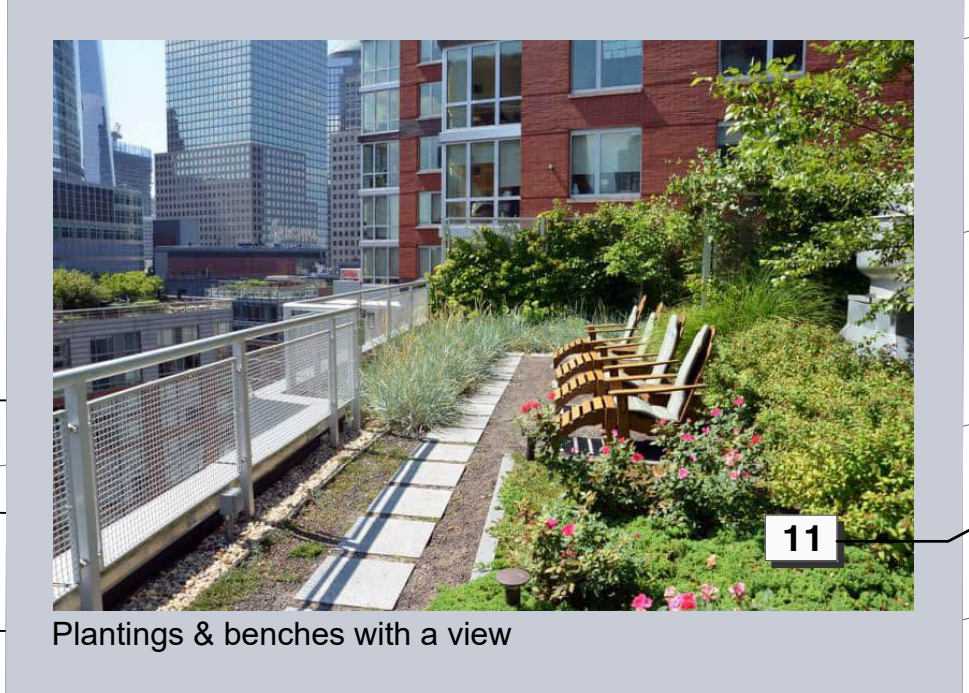
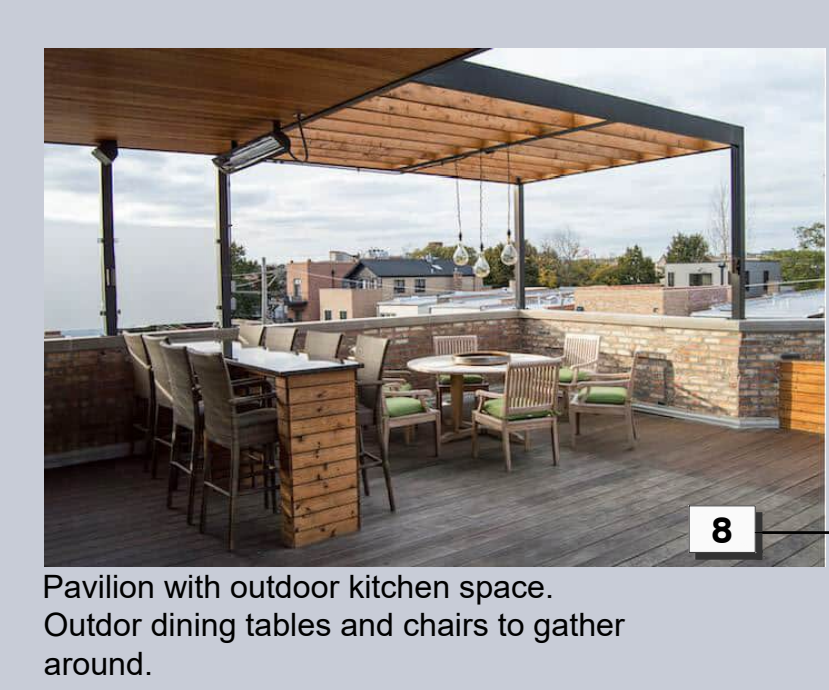
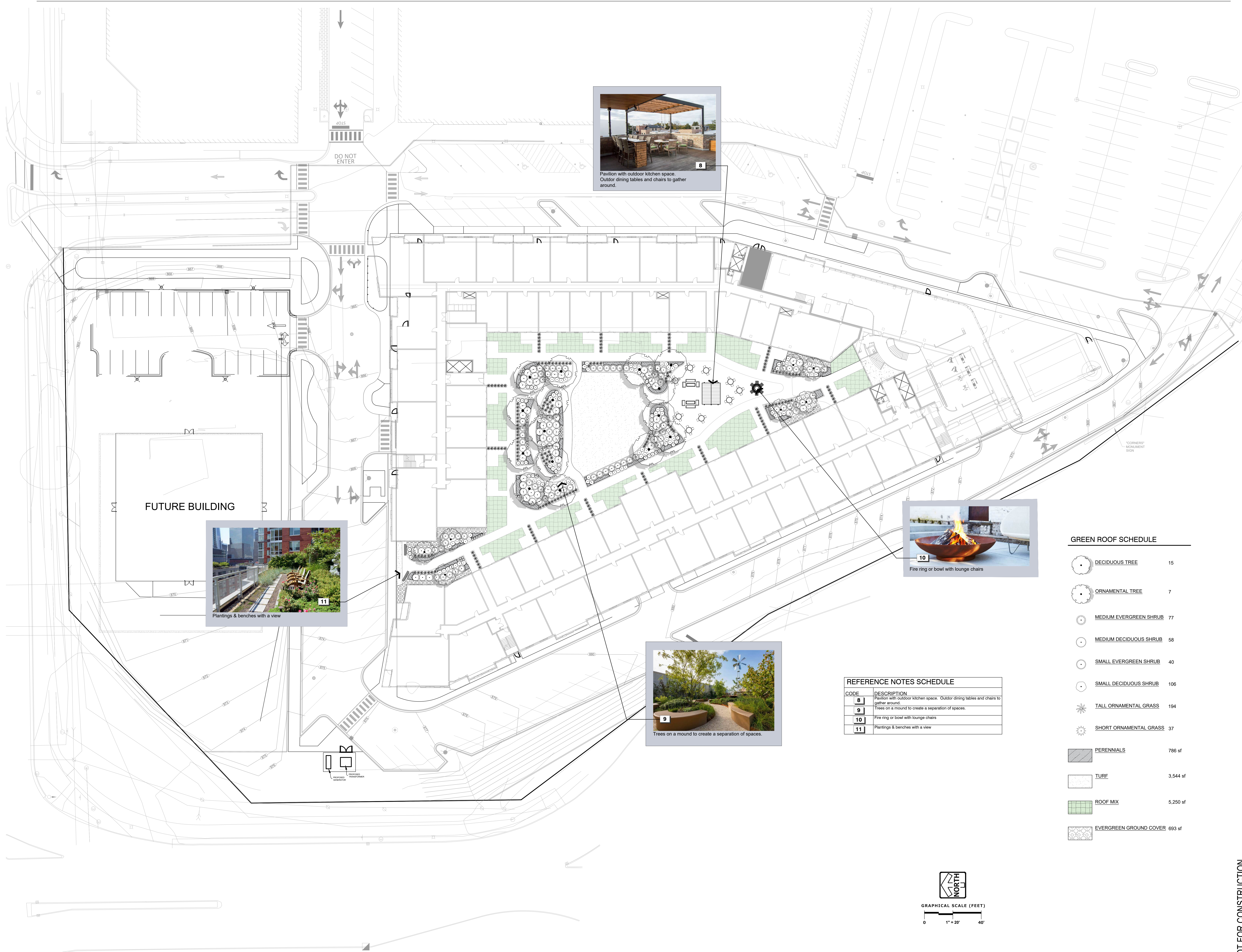
**THE CORNERS OF  
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PHASE II**

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**LANDSCAPE  
PLAN**

Sheet # **L1-01**

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FUTURE BUILDING

DO NOT ENTER

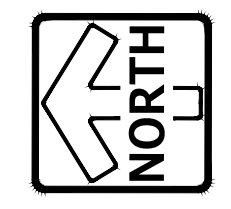
"CORNERS" MONUMENT SIGN

**GREEN ROOF SCHEDULE**

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GRAPHICAL SCALE (FEET)  
0 1" = 20' 40'

△ Revisions

**THE CORNERS OF BROOKFIELD: PHASE II**

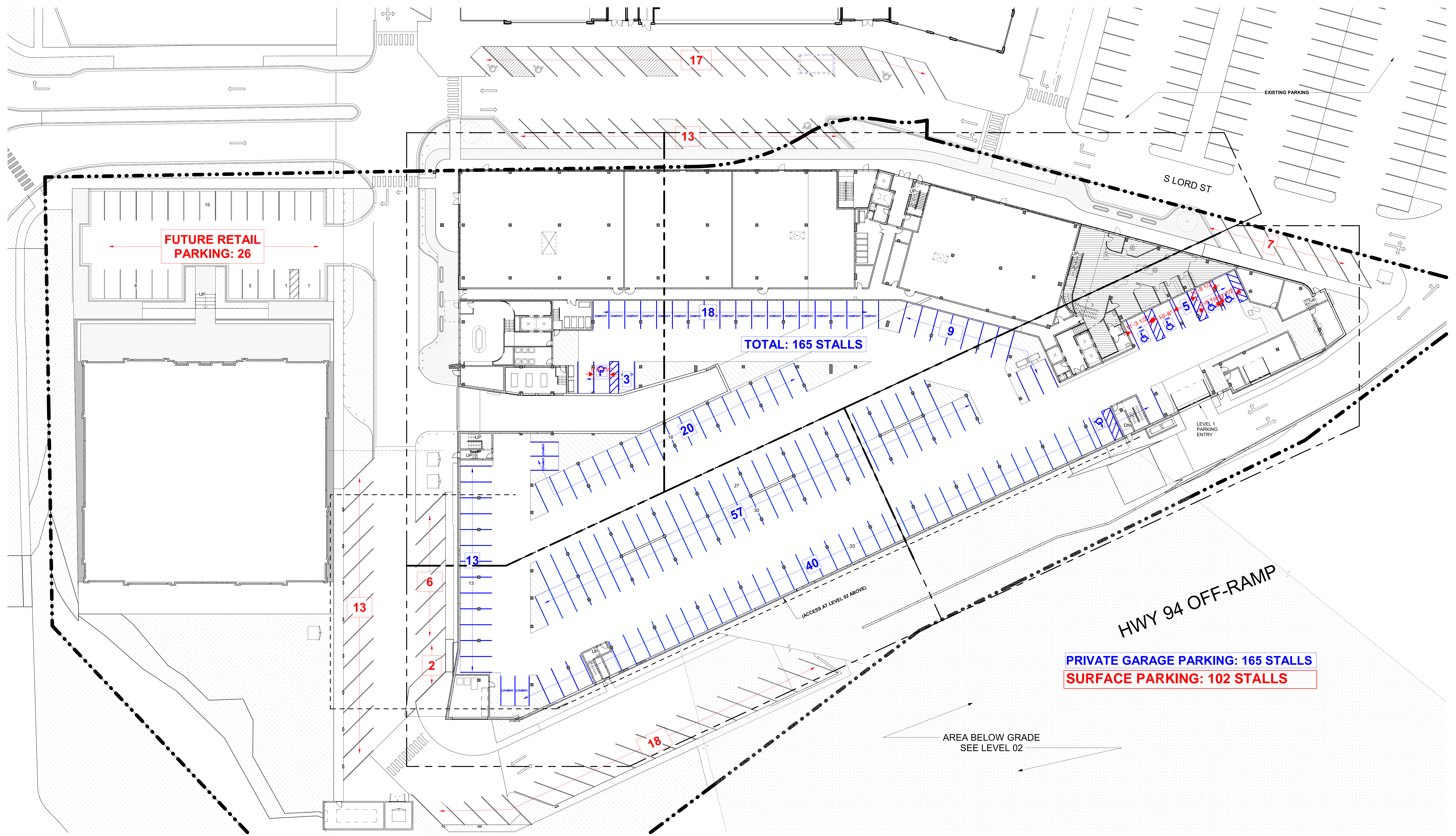
20111 W BLUEMOUND ROAD  
BROOKFIELD, WI 53045  
Date Issued: 09/20/2024  
RINKA project #: 23203  
Sheet Title

**LANDSCAPE PLAN GREEN ROOF**

Sheet # **L2-01**

NOT FOR CONSTRUCTION





△ Revisions

DESIGN  
DEVELOPMENT  
SET

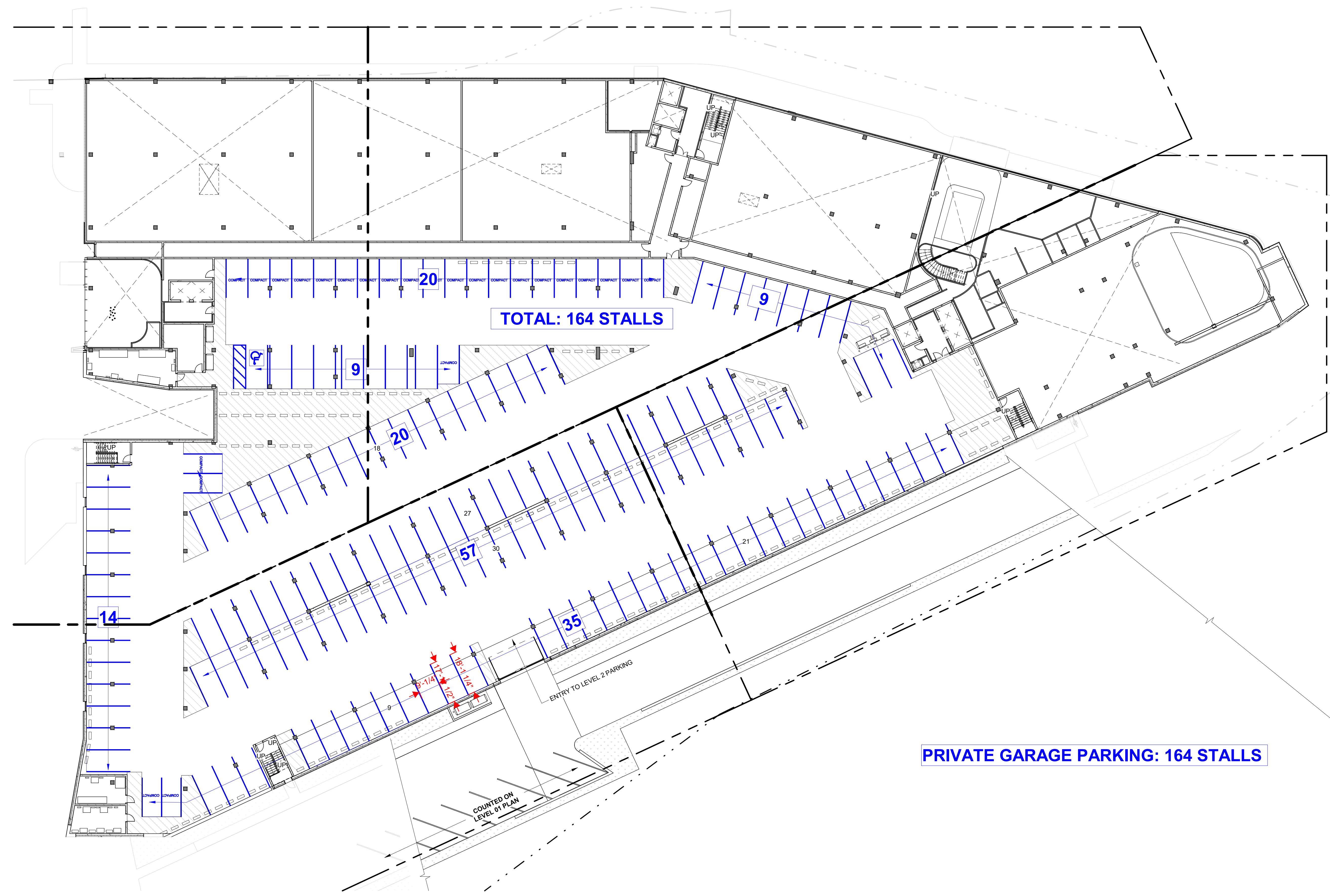
THE CORNERS OF  
BROOKFIELD:  
PHASE II

20111 W BLUEMOUND ROAD  
BROOKFIELD, WI 53045  
Date issued: 12/19/2025  
RINKA project #: 23203  
Sheet Title

LEVEL 01 PARKING  
PLAN

Sheet # **G1-20**

NOT FOR CONSTRUCTION



1 LEVEL 02 PARKING PLAN  
 1" = 20'-0"

△ Revisions

DESIGN  
 DEVELOPMENT  
 SET

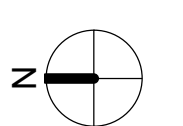
THE CORNERS OF  
 BROOKFIELD:  
 PHASE II

20111 W BLUEMOUND ROAD  
 BROOKFIELD, WI 53045  
 Date Issued: 12/19/2025  
 RINKA project #: 23203  
 Sheet Title

LEVEL 02 PARKING  
 PLAN

Sheet # G1-21

NOT FOR CONSTRUCTION

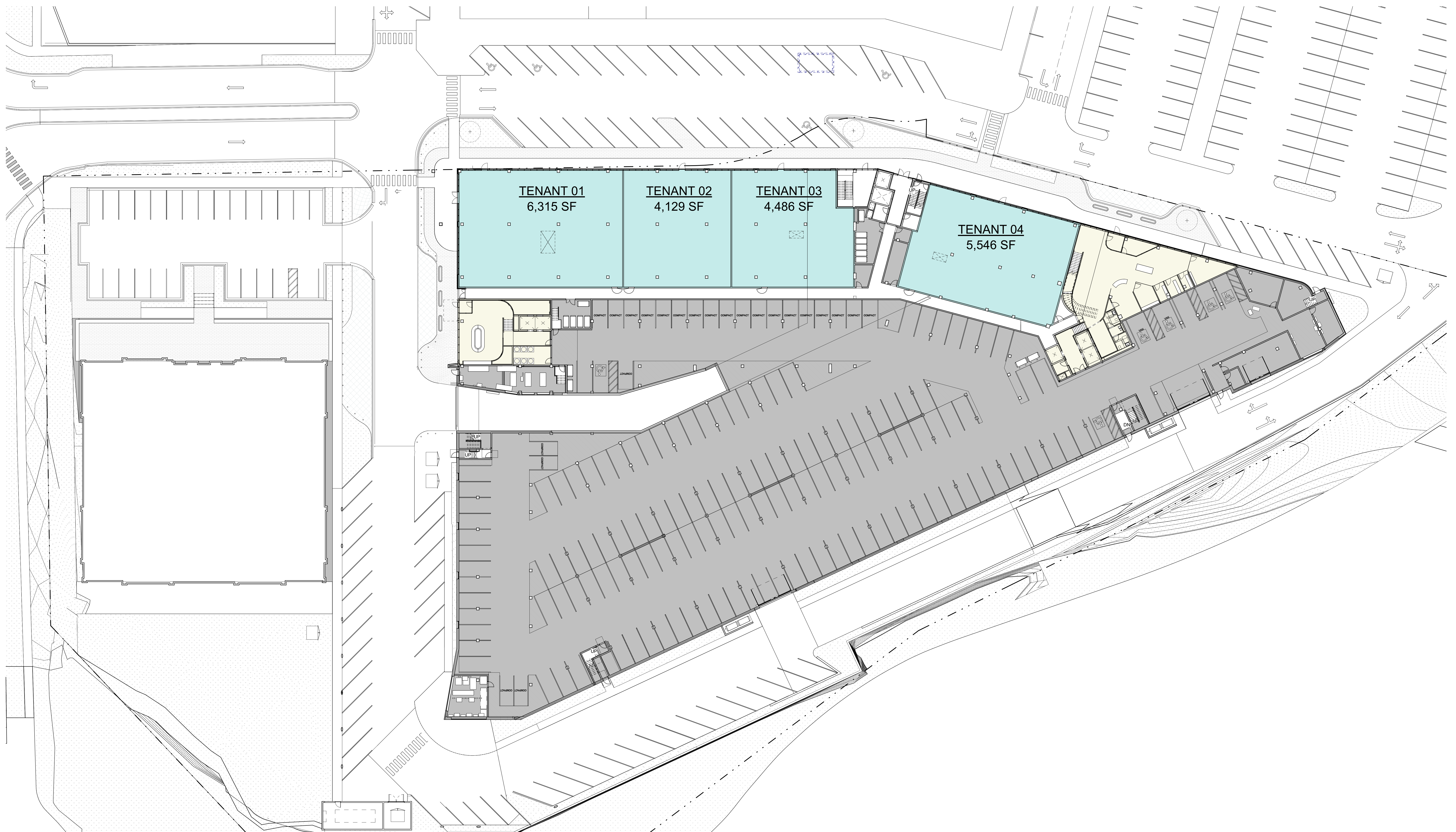




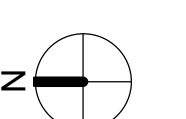
The Corners of Brookfield  
20111 W Bluemound Road  
Brookfield, WI 53045



Mandel Group  
333 E Kilbuck Avenue  
Milwaukee, WI 53202



1 LEVEL 01 TENANT RETAIL AREAS  
1" = 20'-0"



△ Revisions

DESIGN  
DEVELOPMENT  
SET

THE CORNERS OF  
BROOKFIELD:  
PHASE II

20111 W BLUEMOUND ROAD  
BROOKFIELD, WI 53045  
Date issued: 12/19/2025  
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Sheet Title

RETAIL AREAS

Sheet # G1-22

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