

Town of Brookfield
645 N. Janacek Road
Brookfield, WI 53045
(P) 262-796-3788
(F) 262-796-0339



MEETING NOTICE

Meeting will be held at the
Town of Brookfield Municipal Building, Eric Grant Room
645 N. Janacek Road, Brookfield, WI

Wednesday, May 13, 2026

Architectural Review Committee

6:00 p.m.

AGENDA

1. Call to Order.
2. Meeting Notices.
3. Approval of Agenda.
4. Approval of Minutes
 - a. April 8, 2026 Meeting Minutes
5. Old Business: None.
6. New Business:
 - a. Review and possible action on a request to replace two development entry signs for FoxHaven, located east of Springdale Road and south and west of Watertown Road. Fast Signs (applicant), Wimmer Communities (owner)
 - b. Review and possible action on a request for a wall-mounted sign for the American Society of Gene and Cell Therapy (tenant) at 20700 Swenson Drive. Sign Effectz (applicant), JTM LLC (owner).
 - c. Review and possible action on a request for signage at 325 N. Brookfield Road for Studio 6 Extended Stay. Bauer Sign & Lighting (applicant). BRE/HV Properties, LLC (owner).
 - d. Review and possible action on a request to install wall signage and a tenant panel at Soap and Suds (tenant) located at 18000 W. Bluemound Road. Bauer Signs & Lighting (applicant). Harvard Square Baceline LLC (owner).
 - e. Review and possible action on a request for Final approval for a mixed-use development known as The West End, located west of The Corners of Brookfield, Tax Key Nos. BKFT1123.960-.965; BKFT1123.976.001, .004, .005. IM Properties (applicant), Newfield Holdings LLC and Brookfield Corners LLC (owners).
 - f. Discussion and recommendation to Town Board on proposed modifications to Section 17.08 (Signage).
7. Communications and Announcements.
 - a. Next meeting date: June 10, 2026
8. Adjourn.

Posted this 7th day of May, 2026
Rebekah Leto
Town Planner

TOWN OF BROOKFIELD
ARCHITECTURAL REVIEW COMMITTEE MINUTES
APRIL 8, 2026

The regular meeting of the Architectural Review Committee was held in the East Conference Room of the Town Hall, 645 N Janacek Road, Brookfield, WI.

1) CALL TO ORDER

Chairman Dean Pearson called the meeting to order at 6:00 p.m. with the following people present: Town Supervisors John Charlier, Steve Kohlmann; and Committee members Richard Diercksmeier, Alan Lee and Matt Paris; and Town Planner Rebekah Leto.

2) MEETING NOTICES

Planner Leto reported that the meeting was noticed in accordance with Open Meeting Law.

3) APPROVAL OF AGENDA

Motion by Mr. Charlier to approve the agenda as presented.

Seconded by Mr. Kohlmann.

Motion carried unanimously.

4) APPROVAL OF MINUTES

Motion by Mr. Paris to approve the minutes of the March 11, 2026 minutes as presented.

Seconded by Mr. Kohlmann.

Motion carried unanimously.

5) OLD BUSINESS

None.

6) NEW BUSINESS

- a. Review and possible action on a request for tenant panels on the existing Galleria West multi-tenant sign, located at 18900 W. Bluemound Road. Innovative Signs (applicant) LMT II Galleria West LLC (owner).

Planner Leto gave an overview of the proposal in accordance with the staff report. Chairman Pearson inquired about the proposed 3" letter height. The applicant noted that the font is already routed out and it was as big as they could make it. Planner Leto clarified if it would be illuminated because the plans did not say. The applicant replied yes, it will be illuminated as was presented when the sign was going through the approval process. Chairman Pearson opined that the letters will be too small, and Mr. Kohlmann agreed.

Motion by Mr. Charlier to approve tenant panels on the existing Galleria West multi-tenant sign, located at 18900 W. Bluemound Road as presented.

Seconded by Mr. Paris.

Further Discussion: None.

Motion carried 5-1, with Chairman Pearson voting against the motion.

- b. Review and possible action on a request for Preliminary approval for a mixed-use development known as The West End, located west of The Corners of Brookfield, Tax Key Nos. BKFT1123.960-965; BKFT1123.976.001, .004, .005. IM Properties (applicant), Newfield Holdings LLC and Brookfield Corners LLC (owners).

Planner Leto gave an overview of the proposal in accordance with the staff report. Chairman Pearson inquired about the traffic pattern and the applicant noted that the goal is to improve it. The architect gave an overview of the project, focusing on scale, architecture and the site plan. The materials will be solid-surface granite at grade level and structural silicone-grade glazing on the residential areas, with wood—look fiber cement and either white or terracotta fiber cement. The applicant and Committee discussed the traffic flows for shoppers, renters and trucks. The architect noted they have architectural samples available for the Committee to view and they played an animation of the development. Mr. Kohlmann asked about the grassy corner near the intersection. The applicant noted they are going to keep it grass but it will not be a dog park. The architect noted that there will be a decent amount of trees and slope in that area and it will be the dumpster location for the new single-story retail. Mr. Paris asked if the extension of the sidewalk on Lord Street will occur, to which the applicant responded yes. Mr. Charlier asked if current tenants would have access to the amenities in the West End (yes). Mr. Charlier asked if there would be Union Street access to the green roof, which the architect responded no. Planner Leto noted that was a misunderstanding on her end, identifying that the staff report noted it was at street level. Mr. Charlier if the off-ramp area will be cleaned of debris and garbage (yes). Mr. Lee brought up the color scheme being proposed, noting it is different from the existing development. The applicant(s) replied that it was intention, as this phase is more modern and contemporary and is less of a transitional traditional design. The original color pallet was meant to compliment Von Maur. This development is meant to be an elevated experience and provide an even higher-level product. The Committee and the developer discussed pedestrian safety and access.

Motion by Mr. Paris to recommend preliminary approval for a mixed-use development known as The West End, located west of The Corners of Brookfield at 23911 W. Bluemound Road, as presented, subject to the following conditions:

1. All rooftop mechanicals shall be screened from view.
2. All comments of the Town Engineer, Sanitary District and Fire Department shall be complied with and shown on the final plans.
3. The Landscaping plan shall be updated to incorporate plant species and a maintenance schedule.
4. A Certified Survey Map shall be submitted, reviewed and approved by the Town of Brookfield and any extra-territorial review entity, prior to permits being issued.
5. A Traffic Impact Analysis shall be submitted for review, prior to final plan approval.
6. Renderings of the development signage shall be submitted for consideration of the ARC, Plan Commission and Town Board.

Seconded by Mr. Kohlmann.

Further Discussion: None.

Motion carried unanimously.

7) COMMUNICATION AND ANNOUNCEMENTS:

- a. Update on regulating permanent outdoor lighting in residential areas.

Planner Leto gave an update on the Plan Commission's decision to set this topic aside for now, noting that they may wish to revisit in the future. Chairman Pearson addressed Town Chairman Henderson, asking that we form a committee about the LED lighting, noting that there needs to be guidance for residents on this topic. Town Chairman Henderson agreed to allow a committee, with Mr. Kohlmann and Chairman Pearson as volunteers. Town Chairman Henderson noted he would like a Plan Commissioner to also be on the Board and instructed Planner Leto to put it on the next Plan Commission agenda.

b. Next meeting date: May 13th at 6:00 pm.

8) ADJOURN

Motion by Mr. Kohlmann to adjourn at 6:57 pm.

Seconded by Mr. Charlier.

Motion carried unanimously.

Respectfully submitted,
Rebekah Leto, Town Planner



TOWN OF BROOKFIELD ARCHITECTURAL REVIEW COMMITTEE STAFF REPORT

TO: Town of Brookfield Architectural Review Committee

FROM: Rebekah Leto, AICP, Town Planner

MEETING DATE: May 13, 2026

RE: Two (2) Fox Haven Run multi-family development replacement signs at the corners of Foxhaven Run and Springdale Road and Foxhaven Run and Watertown Road.

APPLICANT: FastSigns, Danielle Spitz on behalf of Wimmer Communities

The following report is provided for cursory review prior to action. Specifics relating to the submitted documents of this application may be referenced in the Meeting Packet distributed by the Clerk.

Wimmer Communities is proposing to update its development signage for the Fox Haven apartments located east of Springdale Road and south and west of Watertown Road. There are two existing monument signs at the north corner of Foxhaven Run and Springdale Road and the northwest corner of Foxhaven Run and Watertown Road. The replacement signs are freestanding posts-style signs that are proposed in the same location. The existing and proposed location do not appear to meet the setback requirements of 10 ft. from all lot lines. Both signs also appear to be within the Vision Corner Triangle. The Town DPW Superintendent noted that a sign replacement in this location should not impact the visibility of traffic and they have had no issues with the existing signs.

The existing signs includes the Wimmer logo, "Foxhaven of Brookfield" with a smaller subtext noting "Apartment Homes" and a phone number. There is some landscaping around the base of the sign.

Existing signs	Size	Existing/Proposed setback	Required setback
Watertown	80" tall x 87.5" wide	10 ft. / 9 ft. approx.	10 ft. from all lot lines
Springdale	73.5" tall x 87.5" wide	Unknown. Setback in trees, approximately 8-10 ft.	



Existing sign

The proposed sign removes “Apartment Homes” and includes the Wimmer Communities website. The neutral color pallet remains the same. See enclosed plans for the replacement signs.

The proposed sign information is as follows.

Width	Height	Total Size	Size Max
86” (7.1’)	53.5” (4.5’) sign face 73” (approx. 6’) overall with posts	Approximately 29 sq. ft.	As determined by the ARC

The Zoning Code notes that permanent real estate development signs which are placed at the entrance to a development are subject to the following:

1. Shall only display the name of the subdivision or development.
2. Shall be set back a minimum of 10 ft. from all lot lines.
3. Shall be regulated in height, size and design by the ARC
4. May be illuminated in accordance with 17.08(8).

Recommendation:

I recommend the Committee approve the sign size and location, as presented. However, the Committee will need to determine if it is appropriate to have more than the development name on the sign. As noted, the existing sign does note that these are apartments and provides a phone number. The new sign remove the apartment qualifier but adds a website, which is likely how people are inquiring about vacancies.

SIGN SPECS

DESCRIPTION

Qty 2 - Post/Panel Signs

MATERIALS Powder-Coated Aluminum Frame
Max Metal Panel
Vinyl Graphics

SIGN PANEL 53.5" tall x 86" wide

OVERALL SIZE 73" tall x 86" wide

INSTALLATION INFO

Sign installed onto concrete footings

SIGN COLORS



Pantone 7527 C



RGB 152, 142, 131



Black



Sea Shell White

FASTSIGNS
Make Your Statement™

W173N9170 St. Francis Drive, Suite 1
Menomonee Falls, WI 53051
262-253-0799
www.FASTSIGNS.com/452



SIGN LOCATION

★ New sign will replace the current, deteriorating sign in the same location.

Current signs to be replaced



FASTSIGNS Make Your Statement™

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Menomonee Falls, WI 53051
262-253-0799
www.FASTSIGNS.com/452



TOWN OF BROOKFIELD ARCHITECTURAL REVIEW COMMITTEE STAFF REPORT

TO: Architectural Review Committee
FROM: Rebekah Leto, AICP, Town Planner
MEETING DATE: May 13, 2026
RE: **American Society of Gene and Cell Therapy, 20700 Swenson Drive**
APPLICANT: J'Kayla Hodges, Sign Effectz
PROPERTY OWNER: JTM MKE LLC

The following report is provided for cursory review prior to action. Specifics relating to the submitted documents of this application may be referenced in the Meeting Packet distributed by the Clerk.

The American Society of Gene and Cell Therapy is moving from the western building at Crossroads Corporate Center to the eastern building and is looking to install a new sign. The sign design is the same design as the existing signage. The letters are red front-lit channel-set letters on a raceway. The logo is also front-lit channel letters on a black aluminum mesh. The proposed sign is ten sq. ft. smaller than the existing sign. The total dimensions are 28' x 4.3'.

	Sign size	Permitted
Dana Investments (existing)	105.3 sq. ft.	n/a
ASGC (proposed)	120.4 sq. ft.	168.8 sq. ft. combined (211' +/- frontage)
Total	=225.7 sq. ft.	Sign waiver required

The Code allows up to two wall-mounted signs per elevation on office buildings, subject to the area limits (80% of the frontage).

Recommendation

I recommend approval of the proposed sign, including the waiver for exceeding the sign size maximum. Each sign is on opposite ends of the building and will not overcrowd the elevation. Each sign on its own does not exceed the sign size requirements and seems reasonable given the frontage on I-94.

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CUSTOMER:
 Jones Lang LaSalle

PROJECT:
 20700 Swenson Dr.

QUOTED ITEMS:
 American Society of Gene + Cell Therapy (ASGCT)

Relocation

PROJECT ADDRESS:
 Jones Lang La Salle
 20800 Swenson Dr,
 Waukesha, WI 53186

BILLING ADDRESS:
 Jones Lang La Salle
 20800 Swenson Dr,
 Waukesha, WI 53186

REV.	DESCRIPTION	DATE	INIT
01			
02			
03			
04			
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06			
07			
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09			
10			

PROJECT NOTES:

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SHEET SIZE:	DEPT.	WORK ORDER NO.	JOB NO.
B	PERMITTING	18540	03
AUTHOR: AAE	PERMIT DRAWING NO: Z 18137662_1.1		
ACCT. MGR. JCB	SCALE: NOT TO SCALE		
PROJ. MGR. MMC	QUOTE: 18585	CHG ORD. NO:	
REV 00	DATE OF ISSUE: 04/04/26	SHEET NO: 1	



1
1 **ASGCT - SIGN RELOCATION PLAN**
 NOT TO SCALE

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CUSTOMER:
 Jones Lang LaSalle

PROJECT:
 20700 Swenson Dr.

QUOTED ITEMS:
 American Society of Gene + Cell Therapy (ASGCT)
 Relocation

PROJECT ADDRESS:
 Jones Lang La Salle
 20800 Swenson Dr,
 Waukesha, WI 53186

BILLING ADDRESS:
 Jones Lang La Salle
 20800 Swenson Dr,
 Waukesha, WI 53186

REV.	DESCRIPTION	DATE	INIT
01	updated to bldg 20700 - supplied dwg had 20800	04/08/26	AE
02			
03			
04			
05			
06			
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PROJECT NOTES:

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SHEET SIZE.	DEPT.	WORK ORDER NO.	JOB NO.
B	PERMITTING	18540	03
AUTHOR: AAE	PERMIT DRAWING NO: Z 18137662_1.1		
ACCT. MGR. JCB	SCALE: NOT TO SCALE		
PROJ. MGR. MMC	QUOTE: 18585	CHG ORD. NO:	
REV 01	DATE OF ISSUE: 04/04/26	SHEET NO: 2	



2 EXISTING NORTH ELEVATION
 2 NOT TO SCALE



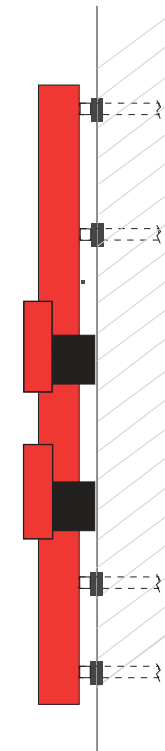
1 ASGCT - PROPOSED NORTH ELEVATION
 2 NOT TO SCALE

American Society of Gene + Cell Therapy
 20800 Swenson Drive, Suite 300, Waukesha, WI 53186

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A FRONT-LIT CHANNEL LETTERS – To Read: American Society of Gene + Cell Therapy
[Single Stroke LED]

Size: CAPS – 20", LOWER CASE – 13" height

Quantity:1

- Digital Print
- 3/16" Impact Modified Acrylic (WHITE #2447 or #7328)(quality upgrade due to sign design)
- 1" Trimcap (Black)
- 3" .040 Returns (Black)
- White Aluminum ACM Backs

1 color logo approx. 32ft x 10ft

Internally lit

FRONT-LIT CHANNEL LOGO – To Read: ASGCT
[Grid Stroke LED]

Size: 48" x 51.6"

Quantity: 1

- Digital Print
- 3/16" Impact Modified Acrylic (WHITE)
(quality upgrade due to sign design)
- 1" Trimcap (Black) - metal clips
- 3" .040 Returns (Black)
- White Aluminum ACM Backs

Letters on raceway, logo on black aluminum mesh --- Paper Pattern---
Power Supplies and UL Labels included on Illuminated Projects.

CUSTOMER:

Jones Lang LaSalle

PROJECT:

20700 Swenson Dr.

QUOTED ITEMS:

American Society of
Gene + Cell Therapy
(ASGCT)

Relocation

PROJECT ADDRESS:

Jones Lang La Salle
20800 Swenson Dr,
Waukesha, WI 53186

BILLING ADDRESS:

Jones Lang La Salle
20800 Swenson Dr,
Waukesha, WI 53186

REV.	DESCRIPTION	DATE	INIT
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02			
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PROJECT NOTES:

120 Connection to Existing
Primary Electrical by Locally
Licensed Electrician. Existing Pwr
Sup behind wall from prev sign.

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B	PERMITTING	18540	03
AUTHOR:	PERMIT DRAWING NO:		
AAE	Z 18137662_1.1		
ACCT. MGR.	SCALE:		
JCB	3/8" = 1' - 0"		
PROJ. MGR.	QUOTE:	CHG ORD. NO:	
MMC	18585		
REV	DATE OF ISSUE:	SHEET NO:	
00	04/04/26	3	

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CUSTOMER:

Jones Lang LaSalle

PROJECT:

20700 Swenson Dr.

QUOTED ITEMS:

American Society of Gene + Cell Therapy (ASGCT)

Relocation

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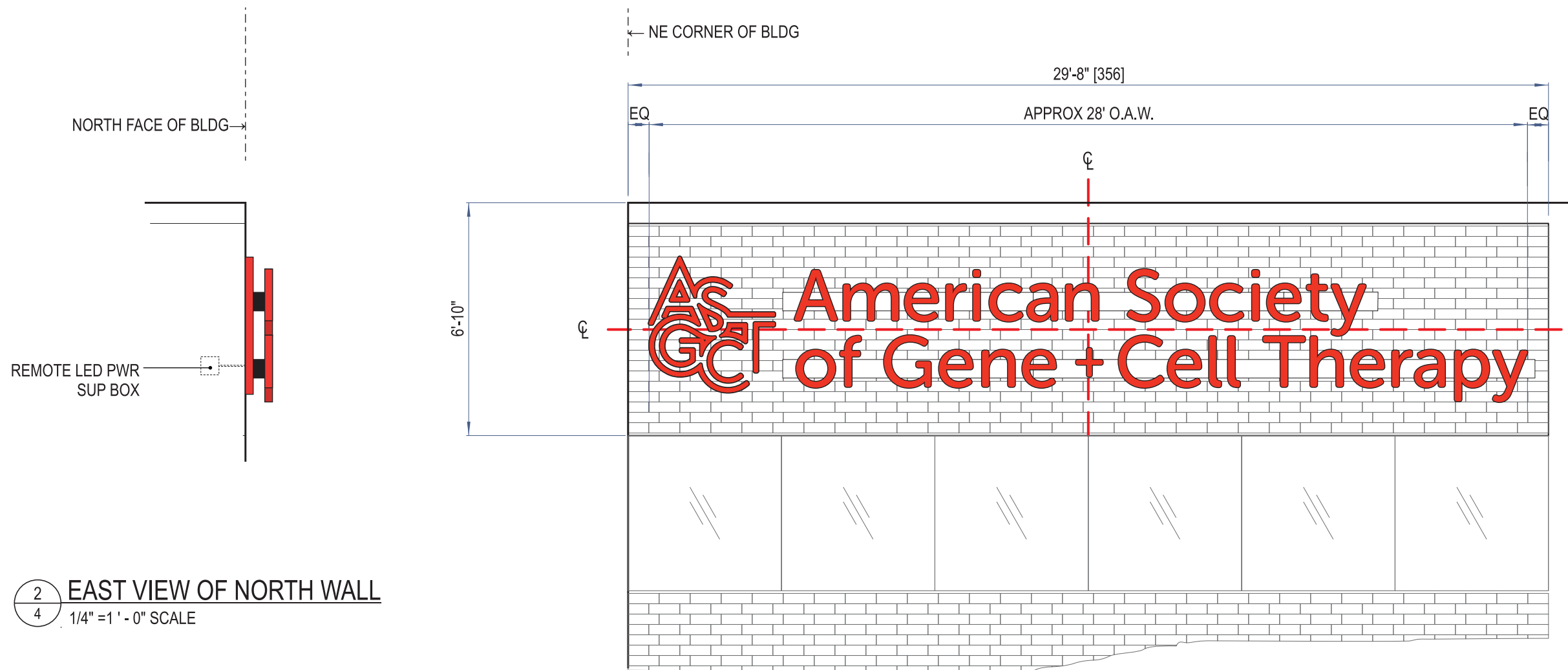
REV.	DESCRIPTION	DATE	INIT
01			
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PROJECT NOTES:

120 Connection to Existing Primary Electrical by Locally Licensed Electrician. Existing Pwr Sup behind wall from prev sign.

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SHEET SIZE.	DEPT.	WORK ORDER NO.	JOB NO.
B	PERMITTING	18540	03
AUTHOR:	PERMIT DRAWING NO:		
AAE	Z 18137662_1.1		
ACCT. MGR.	SCALE:		
JCB	1/4" = 1' - 0"		
PROJ. MGR.	QUOTE:	CHG ORD. NO:	
MMC	18585		
REV	DATE OF ISSUE:	SHEET NO:	
00	04/04/26	4	



2 EAST VIEW OF NORTH WALL
 4 1/4" = 1' - 0" SCALE

1 PROPOSED NORTH ELEVATION (EASTMOST)
 4 1/4" = 1' - 0" SCALE



TOWN OF BROOKFIELD ARCHITECTURAL REVIEW COMMITTEE STAFF REPORT

TO: Town of Brookfield Architectural Review Committee

FROM: Rebekah Leto, AICP, Town Planner

MEETING DATE: May 13, 2026

RE: Proposed site and wall signage replacements at Studio 6 Extended Stay, 325 N. Brookfield Road

APPLICANT: Bauer Signs and Lighting, Nick Beyersdorff

The following report is provided for cursory review prior to action. Specifics relating to the submitted documents of this application may be referenced in the Meeting Packet distributed by the Clerk.

Extended Stay America Suites has been bought and merged with another motel chain and has rebranded to Studio 6 Extended Stay. The applicant has proposed updates to the existing signs with the new name and logo. The proposed signs are all in the locations of the existing signs. The proposed sign information is noted below.

Existing Sign	Proposed Sign	Location	Illumination proposed?	Sign Size	Waiver required?	Other
Channel Letters	Wall cabinet	East façade	Yes, LED lit cabinet	6'x 6' 36 SF	No	No white cabinet proposed.
Channel letters	Wall cabinet	Northeast façade	Yes, LED lit cabinet	6'x6' 36 SF	No	No white cabinet proposed.
Directional -Entrance (monument)	Directional-Enter (mono-pole)	Northwest corner	Yes	16" x 35" x 4'-6"	Yes (size and graphic)	Total display area max. is 8" x 30" (per tenant). The existing sign is considerably larger than this.
Monument	Monument (sign reface)	South side of access location	Yes	5.5' x 12.8' 70 SF	No	Address numerals exist on the base.

The directional sign includes the logo, which the ordinances notes directional signs should not include identification graphics. However, the sign is also architecturally consistent with the remaining sign package.

Recommendation:

I recommend approval of the request, as presented. If approved as presented, a waiver for the directional sign is required. My analysis is that the main signage complies with the Code and the directional signage of where to enter the parking lot is not unreasonable for a large single tenant site.



PROPERTY BRAND/EXTENSION:
Studio 6 Extended Stay

PROPERTY LOCATION:
325 N Brookfield Rd Brookfield, WI 53045

PROPERTY CODE:
TBD

DATE:
02/23/2026

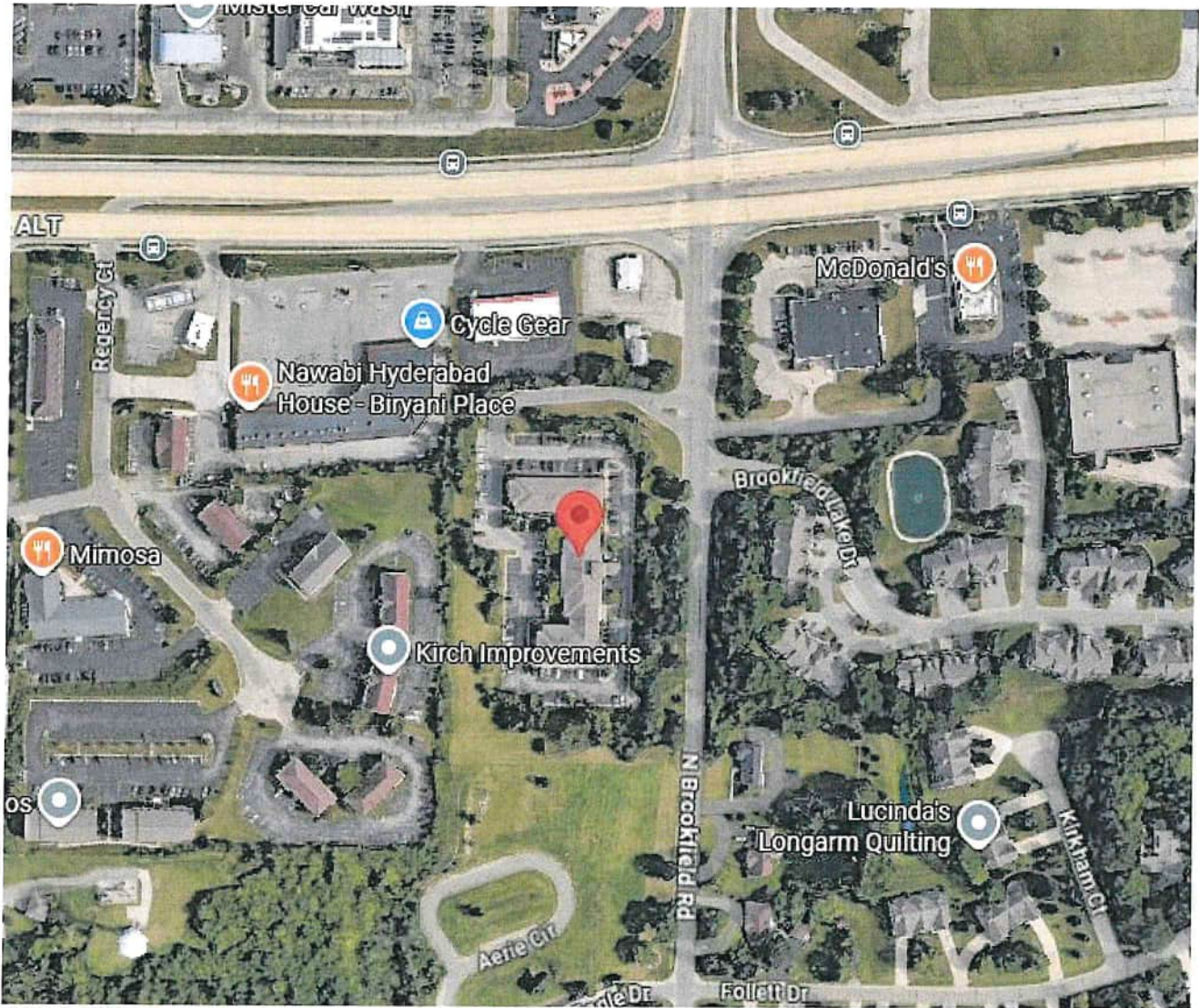
SALES REP:
Angela Houtekier

PREPARED BY:
Victoria Phan

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INITIALS: _____

LOCATION MAP



PROPERTY BRAND/EXTENSION: Studio 6 Extended Stay	PROPERTY LOCATION: 325 N Brookfield Rd Brookfield, WI 53045	PROPERTY CODE: TBD
DATE: 4/24/26	SALES REP: Angela Houttekier	PREPARED BY: Caleb Hester

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INITIALS: _____

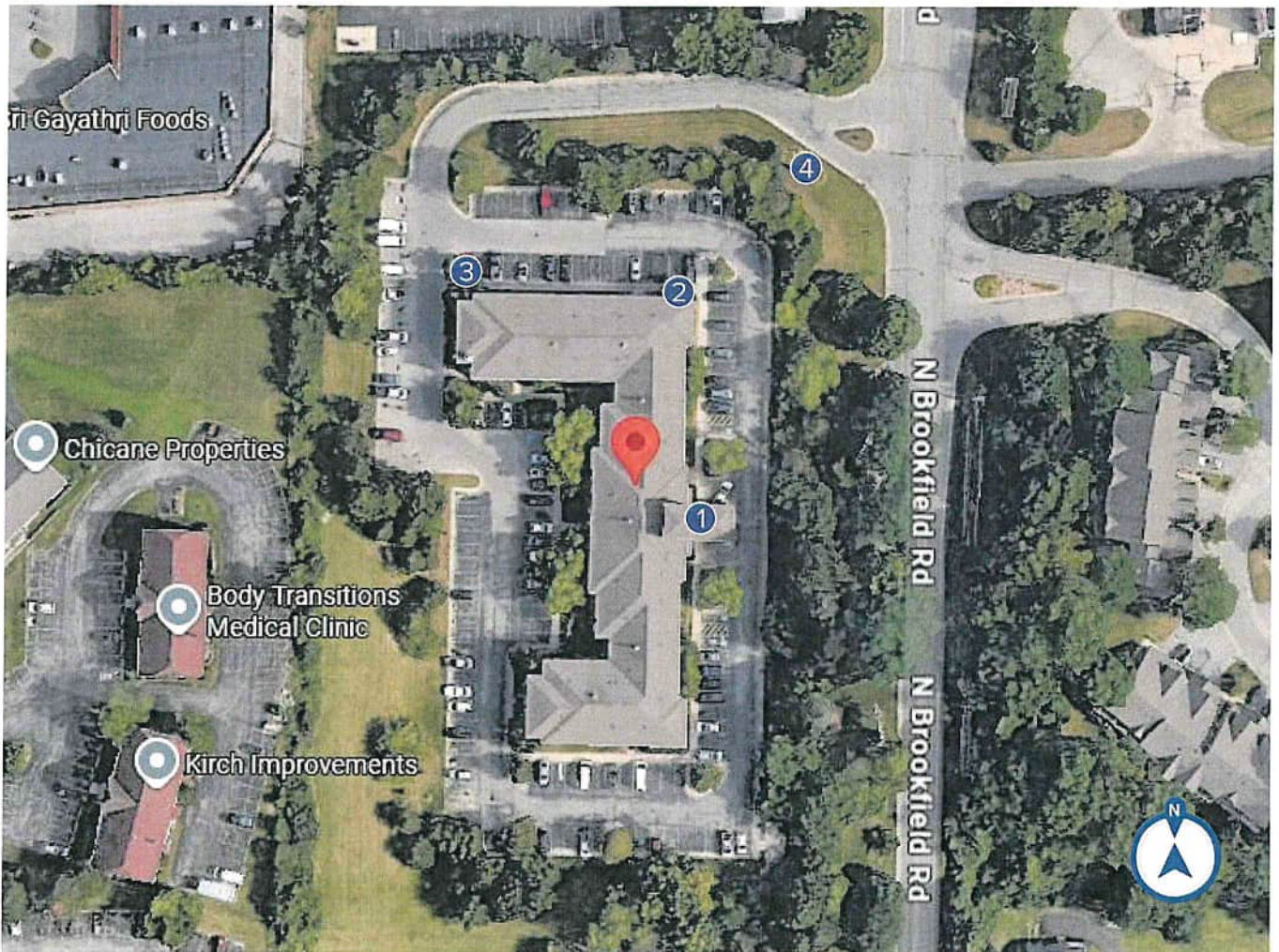
SITE PLAN

PROPOSED SIGNS:

- ① WALL CABINET
- ② WALL CABINET
- ③ DIRECTIONAL
- ④ MONUMENT

EXISTING SIGNS:

- ① CHANNEL LETTERS
- ② CHANNEL LETTERS
- ③ DIRECTIONAL
- ④ MONUMENT



PROPERTY BRAND/EXTENSION:
Studio 6 Extended Stay

PROPERTY LOCATION:
325 N Brookfield Rd Brookfield, WI 53045

PROPERTY CODE:
TBD

DATE:
4/24/26

SALES REP:
Angela Houttekier

PREPARED BY:
Caleb Hester

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INITIALS: _____

EXISTING



PROPOSED



RENDERINGS NOT TO SCALE



H 6' x W 6' Wall Cabinet
2" Retainer

- PANTONE WHITE
- PANTONE 300 U

- PANTONE 485 C

	PROPERTY BRAND/EXTENSION: Studio 6 Extended Stay	PROPERTY LOCATION: 325 N Brookfield Rd Brookfield, WI 53045	PROPERTY CODE: TBD
	DATE: 4/24/26	SALES REP: Angela Houttekier	PREPARED BY: Caleb Hester
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EXISTING



PROPOSED



RENDERINGS NOT TO SCALE



H 6' x W 6' Wall Cabinet
2" Retainer

○ PANTONE WHITE

● PANTONE 485 C

● PANTONE 300 U



PROPERTY BRAND/EXTENSION:
Studio 6 Extended Stay

PROPERTY LOCATION:
325 N Brookfield Rd Brookfield, WI 53045

PROPERTY CODE:
TBD

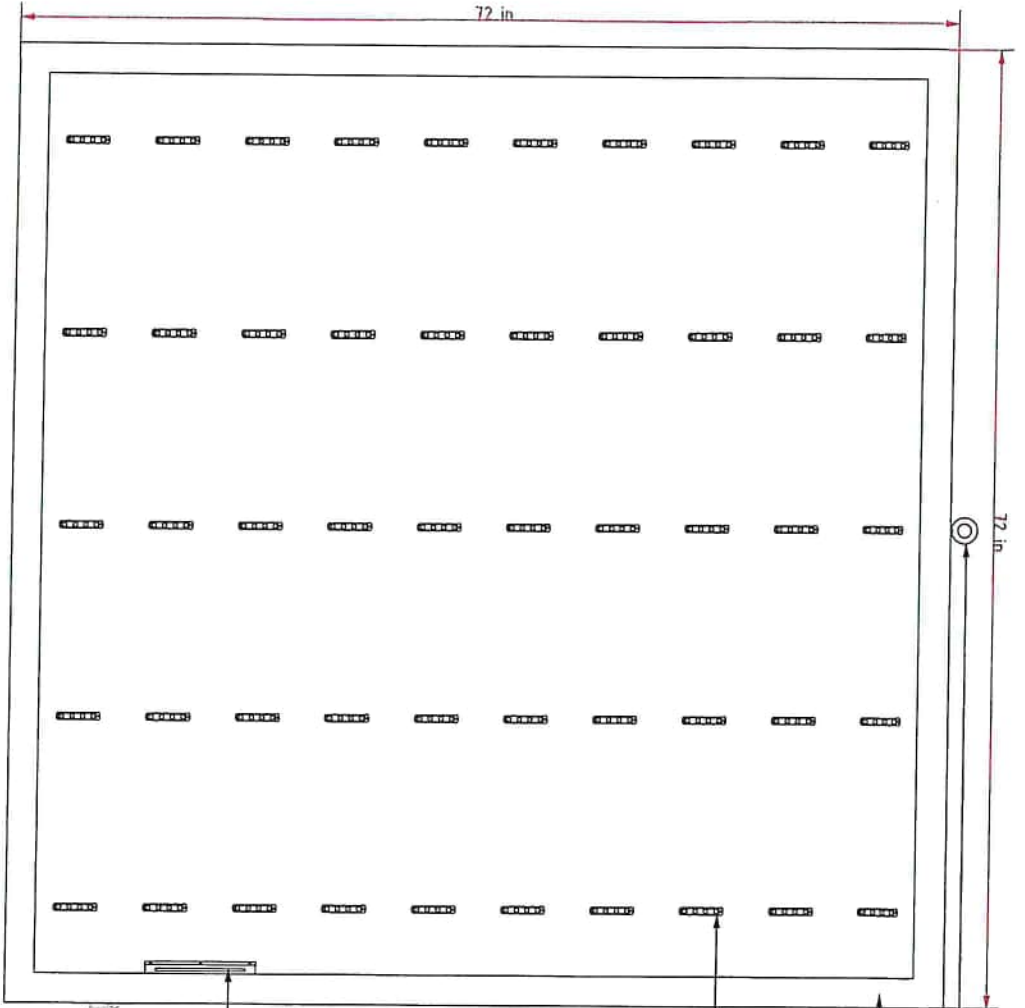
DATE:
4/24/26

SALES REP:
Angela Houstekier

PREPARED BY:
Caleb Hester

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INITIALS: _____



TOGGLE SWITCH

(1) 1GE 24V 100W LED
POWER SUPPLY

(50) GE TETRA POWERMAX
24V LED MODS

SINGLE SIDED EXTRUSION

EYEBOLT

3/8" TOGGLE BOLTS

1/8" ALUMINUM COMPOSITE
MATERIAL BACKER

3/16" POLYCARB W/
DIGITAL PRINT

SINGLE SIDED EXTRUSION

6.1 in

ELECTRICAL NOTES:
1x 120V @ 20A SINGLE PHASE
1.1 TOTAL AMP DRAW

ACE
SIGN COMPANY

11935 I-30, Little Rock, AR 72209
Mon-Fri 8:00am - 5:00pm
P: 800-224-1386
F: 501-492-8268
www.ace-signcompany.com/

PROJECT: Studio 6 Extended Slay - Brookfield, WI

TITLE: (x2) 6' x 6' Single sided LED lit cabinet

Illustration Purpose Only-Subject to Change



APPROVED
CHECKED
DRAWN

AB

DATE: 04.23.2026

REV 1

SHEET 1 of 1

EXISTING



PROPOSED



RENDERINGS NOT TO SCALE



H 1'-4 1/8" x W 2'-11 7/8" Directional Cabinet
OAH 4'-6"

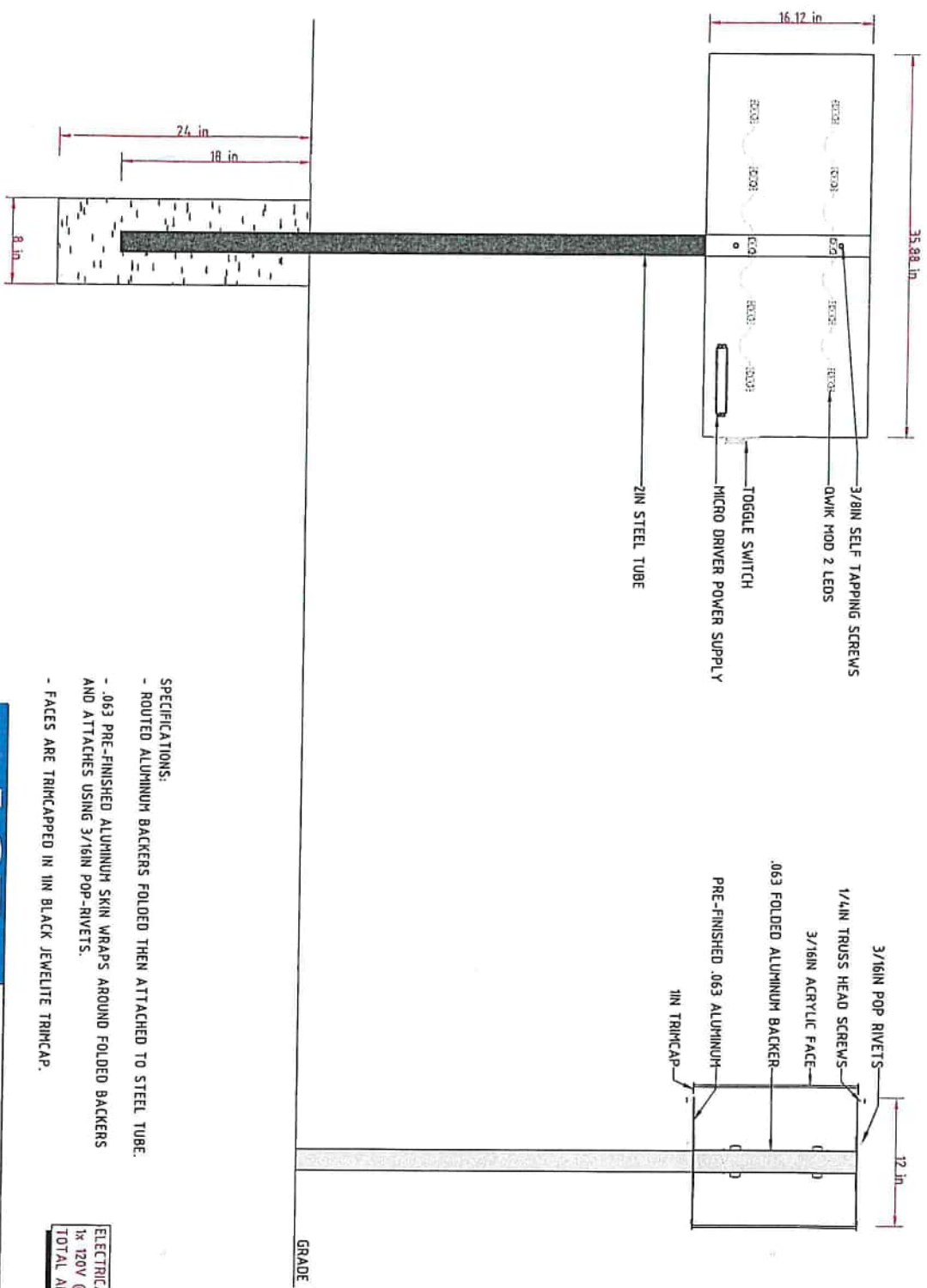
○ PANTONE WHITE

● PANTONE 485 C

● PANTONE 300 U



PROPERTY BRAND/EXTENSION: Studio 6 Extended Stay		PROPERTY LOCATION: 325 N Brookfield Rd Brookfield, WI 53045	PROPERTY CODE: TBD
DATE: 4/24/26	SALES REP: Angela Houttekler	PREPARED BY: Caleb Hester	INITIALS: _____
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- SPECIFICATIONS:**
- ROUTED ALUMINUM BACKERS FOLDED THEN ATTACHED TO STEEL TUBE.
 - .063 PRE-FINISHED ALUMINUM SKIN WRAPS AROUND FOLDED BACKERS AND ATTACHES USING 3/16IN POP-RIVETS.
 - FACES ARE TRIMCAPPED IN 1IN BLACK JEWELRITE TRIMCAP.

ELECTRICAL NOTES:
 1x 120V @ 20AMPS - SINGLE PHASE
 TOTAL AMP DRAW - 11 AMPS

ACE SIGN COMPANY
 11935 I-30 Little Rock, AR 72209
 Mon-Fri 8:00am - 5:00pm
 P: 800-224-1386
 F: 501-492-8288
www.acesigncompany.com/

PROJECT	Studio 6 Extended Slay - Brookfield, WI
TITLE	Directional
DATE:	04.23.2026
Illustration Purpose Only-Subject to Change	

APPROVED		REV	
CHECKED		1	
DRAWN	AB	SHEET 1 of 1	

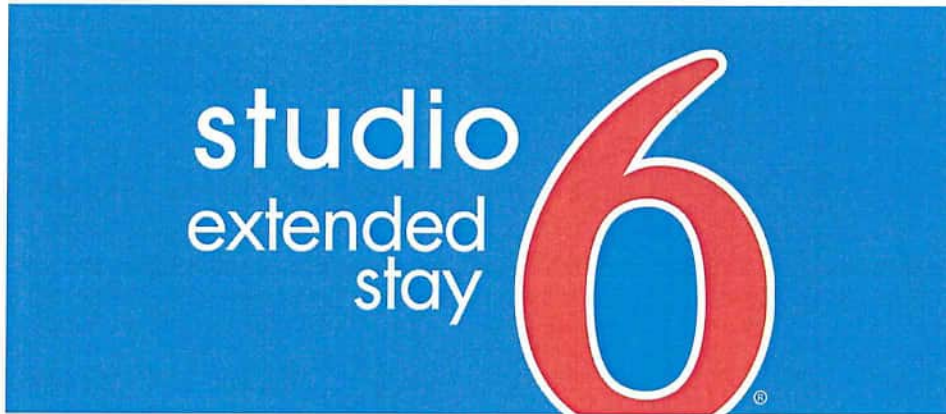
EXISTING



PROPOSED



RENDERINGS NOT TO SCALE



H 5'-6" x W 12'-10" Replacement Face for Monument

 PANTONE WHITE

 PANTONE 485 C

 PANTONE 300 U



PROPERTY BRAND/EXTENSION: Studio 6 Extended Stay		PROPERTY LOCATION: 325 N Brookfield Rd Brookfield, WI 53045	PROPERTY CODE: TBD
DATE: 4/24/26	SALES REP: Angela Houstekier	PREPARED BY: Caleb Hester	INITIALS: _____
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TOWN OF BROOKFIELD ARCHITECTURAL REVIEW COMMITTEE STAFF REPORT

TO: Town of Brookfield Architectural Review Committee

FROM: Rebekah Leto, AICP, Town Planner

MEETING DATE: May 13, 2026

RE: Proposed wall sign for Soap and Suds, 18000 W. Bluemound Road, Harvard Square

APPLICANT: Bauer Signs and Lighting, Scott Boese

The following report is provided for cursory review prior to action. Specifics relating to the submitted documents of this application may be referenced in the Meeting Packet distributed by the Clerk.

Magnolia Soap and Bath Company in Harvard Square disenfranchised and is becoming Soap and Suds. Therefore, the applicant is proposing to modify the wall signage and replace the tenant panel signage on Harvard Square's multi-tenant sign. The applicant also applied for a temporary banner sign. Temporary signs do not need to follow sign code as it relates to size; it is to the discretion of the Development Services Department. The banner well exceeds the sign size allowance (12' x 3.3') which is the same sign area proposed for the permanent wall sign.

There is some discrepancy amongst the tenant frontage. A 2024 application for Magnolia Soap states the frontage is 35 ft. The current application notes the frontage is 30 ft. The application notes that the tenant frontage is 30 ft., and the proposed renderings note the frontage is 28 ft. A review of the building plans for the build out measures the frontage as 29 ft. 3in.

The font appears to the same or similar to what is existing. The letters will be internally illuminated, direct mount channel letters. The existing and proposed wall sign dimensions are as follows:

Wall Sign	Square Feet	Dimensions	Frontage	Max allowed
Proposed Soap & Suds	40.44	12.13' x 3.33'	29.3 ft.	23.4 SF
Existing Magnolia Soap and Bath Co.	27 sq. ft. 3 sq. ft.	9' x 3' (Magnolia Soap) 6' x .5' (& Bath Co.)	35 ft.	28 SF Waiver received

The tenant panel is also proposed to be replace with the new name. It should be noted that the application states the tenant panel is 60" x 20". However, this does not appear to be the accurate size. A review of more recent approvals shows these panels as 18" x 36" and 12" x 30". It's unclear why there is such a discrepancy. However, there is no maximum size limitation for the panel and the

applicant will be limited to the space available on the sign. The Planner has asked for the updated panel size but has not receive that information.

Recommendation:

I recommend **denial** of the wall sign, as presented. The overall sign area is significantly larger than what is permitted, even with the discrepancies amongst the building frontage. The temporary sign, while a banner, gives an idea of how large the sign would be. Another recently approved sign on the building is Talbot's, facing Bluemound Rd., which is 27.5 sq. ft. The main portion of the sign it is replacing, "Magnolia Soap" also was 27 sq. ft. This feels to be a more appropriate size for the frontage, even if a minor sign waiver is required.

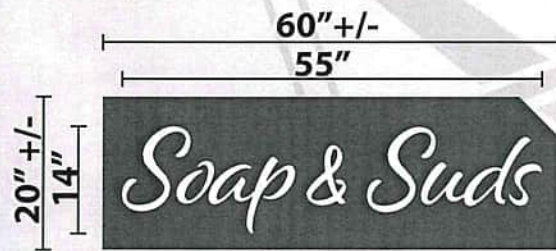
I recommend **approval** of the tenant panel replacement, subject to updated plans and measurements of the sign area being presented to the Town Planner for the sign permit.



2500 South 170th
New Berlin, Wisconsin
Proudly Made in the USA!

Web: www.bauersignusa.com
Phone: 262-784-0500
Fax: 262-784-6675

File	Soap & Suds
Location	Brookfield
Client	
Sales rep	Scott Boese
Date	cb 04/15/26
Revision	



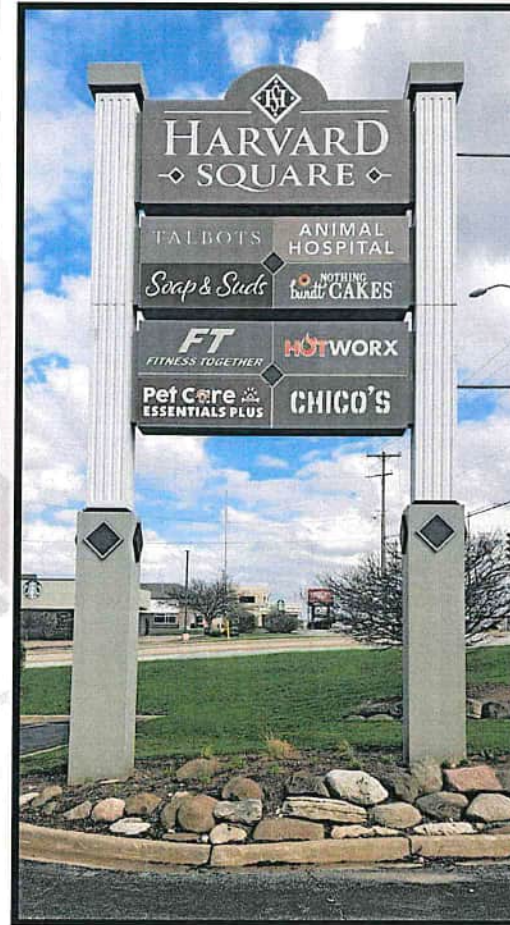
QTY: 2



EXISTING SIDE 1



EXISTING SIDE 2



PROPOSED SIDE 1



PROPOSED SIDE 2

SPECIFICATIONS

FABRICATE AND INSTALL A TWO REPLACEMENT ROUTED ALUMINUM PANELS IN EXISTING D/F MONUMENT SIGN.

- **FACES** TO BE ROUTED ALUMINUM, PAINTED TBD (DURANODIC?) TO MATCH EXISTING
- **INSTALLED** WITH COUNTERSUNK SCREWS, REPLACING EXISTING MAGNOLIA SOAP FACES

Printed artwork colors are not always representative of final product colors. Please refer to specifications for call out or salesman for samples.

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This sign shall be manufactured in accordance with the Article 600 of the National Electrical Code and/or the applicable local codes. This includes proper grounding and bonding of the sign. Sign shall bear correct UL Labels.

Scale: 1/2" - 1'



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File	Soap & Suds
Location	
Client	
Sales rep	Scott Boese
Date	cb 04/08/26
Revision	



ART IS USABLE FOR PRODUCTION

OPTION 1 - DIRECT MOUNT / 40"

SPECIFICATIONS

FABRICATE AND INSTALL ONE SET OF INTERNALLY ILLUMINATED, DIRECT MOUNT CHANNEL LETTERS.

- FACES TO BE #7328 WHITE ACRYLIC
- GRAPHICS TO BE 3M DURANODIC 3630-69 AND GOLD NUGGET 3630-141 (CB CHOICES) OR CLIENT CHOICE
- RETURNS TO BE .040 x 3" - WHITE
- BACKS TO BE .040 ALUMINUM
- TRIMCAPS TO BE 1" WHITE
- ILLUMINATED WITH WHITE LEDs
- POWERED WITH APPROPRIATE LOAD POWER SUPPLIES



ILLUMINATED VIEW



EXISTING



PROPOSED

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This sign shall be manufactured in accordance with the Article 600 of the National Electrical Code and/or the applicable local codes. This includes proper grounding and bonding of the sign. Sign shall bear correct UL Label.

Scale: 1/2" - 1"



TOWN OF BROOKFIELD ARCHITECTURAL REVIEW COMMITTEE STAFF REPORT

TO: Town of Brookfield Architectural Review Committee

FROM: Rebekah Leto, AICP, Town Planner

MEETING DATE: May 13, 2026

REPROT DATE: May 7, 2026

RE: **Final Approval for The West End of The Corners of Brookfield, 20391 W. Bluemound Road, Taxkey No(s) BKFT1123.001, .004, .005**

APPLICANT: IM Properties (Wisconsin 1) LLC, Robert Gould

PROPERTY OWNER: Newfield Holdings LLC and Brookfield Corners LLC

The following report is provided for cursory review prior to action. Specifics relating to the submitted documents of this application may be referenced in the Meeting Packet distributed by the Clerk.

The West End development is seeking final approval from the Architectural Review Committee. The development will include approximately 38,000+/- sq. ft. of street-level retail and an additional 277 residential apartments. This report outlines the updates made between preliminary and final submittals. The previous staff report is enclosed for reference (Exhibit A).

Site Plan, proposed structures and architecture: No architectural changes were proposed. There are some rooftop mechanicals proposed that are typically 4-5 feet tall. As of the date of this report, no screening plan has been presented. A trash enclosure and transformer were added for the single-story retail site; however, these will be discussed in more detail when that development goes through the review process. Other site plan changes include minor adjustments to pavers, walkways and the green space layout east of the south building and area between the proposed buildings.

Loading: No changes to the loading zones from the previous plans.

Traffic and Access: Proposed traffic and site signage has been labeled and added to the construction drawings. A stop sign was added to the western approach of the intersection of Lord Street and S. Union Street. The eastern approach already has two stop signs on each side of the one-way road. An all-way stop was included where Lord Street ends, due to the curve directly west of the intersection. "No trucks" signage was also added to assist with traffic flow. The Town Engineer has no further comments on internal traffic flows or signage.

A Traffic Impact Analysis (TIA) was completed and sent to the Wisconsin DOT (WisDOT). WisDOT noted the TIA required additional information to be assessed appropriately. The Town will be vacating a portion of Lord Street that will be incorporated into the development’s private street network.

Parking.

The TIA also included a parking evaluation. The parking evaluation utilizes a 1.2 residential parking ratio; however the context behind that ratio is incorrect (the plan cites the City of Brookfield Zoning Code). The ratio also uses assumptions in number of bedrooms, rather than using the actual proposed number of bedrooms. The study also does not discuss the actual use of the underground garage, for example at what times does the developer find the garage to be full or what is its average weekday vacancy rate. The overall retail and restaurant parking is being decreased on the site by 63 stalls. The study concludes there continues to be excess parking available based on ITE Parking Generation Manual, 6th Edition. This manual estimates peak parking demands for each use type and is an industry standard.

Total number of stalls for the entire development site		
	<i>Residential</i>	<i>Commercial</i>
<i>Existing</i>	333 spaces (1.36 ratio) 244 total apartments	1,585 spaces for 350,985 sq. ft.
<i>Proposed</i>	662 spaces (1.27 ratio) 521 total apartments	1,522 spaces for 390,165 sq. ft. (-63)

Other changes to the on-site parking include the addition of eight Electric Vehicle (EV) parking stalls located on S. Union Street near the single-story retail. The Fire Department is reviewing the proposed location to ensure compliance with a recently adopted Ordinance related to EV parking stalls.

Open Space and Landscaping.

A revised landscape plan for the parking lot and site perimeter has been submitted that now includes a detailed plant schedule, planting notes, and installation details. The proposed landscaping meets the minimum ordinance requirements for deciduous trees, coniferous trees, shrubs, and ornamental trees. The landscape palette includes a diverse mix of canopy trees, evergreen trees, ornamental trees, shrubs, ornamental grasses, and perennials, including species such as Kentucky Coffee Tree, Regal Prince Oak, Eastern Red Cedar, Black Chokeberry, Ninebark, Switch Grass, Little Bluestem, Catmint, and Shasta Daisy. Approximately 25% to 35% of the proposed plant materials appear to consist of species native, or native cultivars, to southeastern Wisconsin, with the remainder consisting of ornamental or adapted non-native species commonly used in commercial landscape settings. It is recommended that additional native species be incorporated into the plan.

The landscaping appears to substantially comply with the Town’s parking lot landscaping requirements, including the provision of interior parking lot islands and peripheral landscaping areas. However, no calculations have been provided demonstrating compliance with the required minimum landscaped area within the parking lot. Verification should be provided by the applicant confirming that the parking lot landscaping meets the minimum landscaped area requirements of the zoning ordinance. In addition, documentation should be provided demonstrating compliance with the minimum usable open space requirement, defined as areas unobstructed to the sky and not occupied by buildings, driveways, drive aisles, service drives, parking spaces, loading areas, or similar improvements.

Lighting

No changes to the lighting plan were anticipated or submitted. However, the adequacy of lighting near the proposed EV surface parking spaces needs to be confirmed by the Fire Department.

Signage

Development signage will applied at a later date by the developer. No rooftop sign will be proposed. All retail signage will follow the existing DDCM. Any applicant who wishes to do something different will apply for Architectural Review Committee approval.

Tentative meeting schedule for Final Approval:

- Plan Commission: 5/26
- Town Board: 6/16

Recommendation

I recommend **Final approval** of the proposed mixed-use development known as The West End, located at 20391 W. Bluemound Road, Tax key No(s) BKFT1123.001, .004, .005, subject to the following conditions:

1. Prior to the issuance of a Building Permit, documentation that the Wisconsin Department of Transportation has reviewed and approved a Traffic Impact Analysis. Financial assurance in a form acceptable to the Town Attorney shall be submitted to ensure any required improvements are constructed as required by the DOT or Waukesha County.
2. The parking study should be updated to include, at a minimum, additional information relative to the existing use of the underground parking garage and the source of the 1.2 spaces /unit residential ratio versus the required 2 spaces/unit residential ratio.
3. Prior to the issuance of a Building Permit, all comments of the Town Planner, Town Engineer, Sanitary District, Fire Department and Town Attorney, if applicant, shall be complied with and shown on the final plans.
4. A Certified Survey Map shall be submitted, reviewed and approved by the Town of Brookfield and any extra-territorial review entity, prior to permits being issued. *Note: a CSM has been submitted and will be on the June Plan Commission agenda.*
5. Prior to the issuance of a Building permit, a revised Landscaping Plan shall be submitted that includes add additional native species as recommended by the Town Engineer that is sufficient to the Town Engineer and Planner. Financial assurance may be collected in a form acceptable to the Town Attorney to ensure all required landscaping is implemented and maintained for a period of time approved by the Town Board.
6. The Landscaping plan, inclusive of the landscaping in the parking lot, perimeter, and green roof, shall be revised to include the amount of green space and landscaping areas being proposed to ensure compliance with Section 17.02(6)(a)(19).

7. Documentation shall be provided by the applicant that the Town Fire Department has reviewed and approved the plans for the proposed Electronic Vehicle surface stalls relative to the requirements of Ordinance 2026-01.
8. All rooftop mechanicals shall be screened from view. A screening plan shall be provided to the satisfaction of the Town Planner.
9. Renderings of the development signage shall be submitted for consideration of the ARC, Plan Commission and Town Board.

Analysis

While a few of the minor details remain to be worked out, the overall site plan complies with the Ordinance. The site includes traffic-calming measures, including landscape bump outs, angled parking, visually conspicuous crosswalks, and narrow streets, which allow for safe and efficient traffic circulation. Street and pedestrian facilities include amenities such as street trees, street benches, trash receptacles, wayfinding signage, and lighting. The architecture of the buildings is cohesive and, while different, still complements The Corners original development. Final signage will be addressed at a later date. As conditioned, the overall development will meet the purpose and intent of the Ordinance.

Enclosures

- Exhibit A - Preliminary ARC Staff Report (4/8/26)
- Development Plans



EXHIBIT A

TOWN OF BROOKFIELD ARCHITECTURAL REVIEW COMMITTEE STAFF REPORT

TO: Town of Brookfield Architectural Review Committee

FROM: Rebekah Leto, AICP, Town Planner

MEETING DATE: April 8, 2026

RE: **Preliminary Approval for The West End of The Corners of Brookfield, 20391 W. Bluemound Road, Taxkey No(s) BKFT1123.001, .004, .005**

APPLICANT: IM Properties (Wisconsin 1) LLC, Robert Gould

PROPERTY OWNER: Newfield Holdings LLC and Brookfield Corners LLC

The following report is provided for cursory review prior to action. Specifics relating to the submitted documents of this application may be referenced in the Meeting Packet distributed by the Clerk.

The applicant has submitted plans for a mixed-use development know as The West End on the remnant lands west of The Corners of Brookfield. The development will include approximately 38,000+/- sq. ft. of street-level retail and an additional 277 residential apartments. The Ordinance notes the ARC shall review “site plans, proposed structures, architectural plans, parking areas, driveway location, loading and unloading, highway access, traffic generation and circulation, drainage and utilization of landscaping and open space” and make recommendation to the Plan Commission and Town Board.

Site Plan, proposed structures and architecture:

The proposal includes three separate buildings. Building A, located across from the Garrison Building, is a five-story mixed-use building, with street-level retail and four stories of residential. The retail tenants will be located along Lord Street with units that range from 4,129 sq. ft. to 6,315 sq. ft. Building B has five-stories of residential and two stories of structured parking for residents. A private courtyard roof deck (green roof) is located between the two buildings and is accessible at grade from the north and south ends. The third building is a retail only building that abuts W. Bluemound Rd and is anticipated to be a 17,500+/- sq. ft. single story structure. The building materials will be presented by the architect.

Loading: Loading zones are proposed underground with a connection to the existing underground parking structure. Access is at the north end of Buildings A and B via a tunnel, which would provide access to a WB-67 truck and garbage truck to the loading/receiving areas and trash vestibules. The

tunnel would also be an available entrance for cars to access the existing parking garage. The developer has noted that the sub-grade tunnel allows for better traffic flow to the underground parking for those who enter on Lord Street.

Traffic and Access: The original Traffic Impact Analysis (TIA) in 2011 did not include this development in its scope. Therefore, the developer has engaged with a consultant to complete an updated Traffic Impact Analysis, expected by mid-to-late April. The entrance onto Lord Street is not proposed to change at this time. It should be noted that the Town Engineer has recommended additional stop signs throughout the internal streets. However, the TIA may have different recommendations. All internal roads are private roads. The entrance to the development from W. Bluemound Road remains a public road for 228 feet.

Parking. No expansion of the existing underground parking structure is proposed. Additional visitor parking consists of 102 surface stalls on N. and S. Lord Street and Union Street, wrapping around the west side of Building B. Parking for residents consists of two levels of structured parking.

Open Space and Landscaping. Landscaping is proposed around and in between the parking areas, along the west side of Building B and along the west property lines. Throughout the development, there is a mix of shrubs, ornamental grasses and perennials. Large shrubs and a mix of trees are proposed to line the west property boundary near the I-94 exit ramp. No plant list has been provided.

The amount of open space on site is unknown. However, the green roof, private decks and the residents' swimming pool make up an estimated 13.9% of The West End parcel(s). This does not include any of the landscaping beds around the buildings or parking areas, or the west lot line. The MU-1 District requires 15% of usable open space, which is defined as areas unoccupied by driveways, drive aisles, service drives, off-street parking spaces or loading, or buildings and is unobstructed to the sky. It appears that the development meets this standard, although it should be noted that the PUD allows for this requirement to be flexed.

The Town Engineer suggested that the developer consider adding climax deciduous shade trees on the western portion of the site for additional canopy coverage. He also noted there were a few locations where ornamental-scale trees could potentially be upsized to shade-sized deciduous trees to help increase canopy cover and further reduce heat island impacts across the site.

Lighting

Site lighting includes 35 LED post-top lamps throughout the site and recessed exterior LED strip lighting under the eaves. The lighting plan complies with the Town Ordinance per the Town Engineer. The proposed luminaire provides zero percent up lighting, which meets the intent of the "full cutoff" ordinance requirement. The plan also shows an area exceeding the maximum 0.2 foot-candle at the property line near the intersection of North Lord Street and W. Bluemound Rd (0.6 fc); however this area appears to have existing lighting on N. Lord St. that is causing the excess. He noted the additional lighting may even be a benefit in this area.

Signage

Preliminary signage for the development is shown on the renderings. The developer has indicated they are looking for feedback on the general design and location of the signs at this time, as complete sign details have not been fully developed. The southeast elevation of Building 2 includes a rooftop sign, which is not permitted by code, and also a wall-mounted sign. The east elevation of Building A along Lord St. includes tenant signage that will conform to the existing DDCM requirements and a back-lit

aluminum sign with individually cut letters over the entrance to the apartment lobby that states “The West End”. There are multiple parking sign identifiers to mark the entrances into the parking garage.

Plan Commission: The Plan Commission approved Conceptual and Preliminary approval of the development, and recommend approval for a Conditional Use Permit (Planned Unit Development) on March 24, 2026, subject to the following conditions:

1. All rooftop mechanicals shall be screened from view.
2. All comments of the Town Engineer, Sanitary District and Fire Department shall be complied with and shown on the final plans.
3. The Landscaping plan shall be updated to incorporate plant species and a maintenance schedule.
4. A Certified Survey Map shall be submitted, reviewed and approved by the Town of Brookfield and any extra-territorial review entity, prior to permits being issued.
5. A Traffic Impact Analysis shall be submitted for review, prior to final plan approval.
6. Renderings of the development signage shall be submitted for consideration of the ARC, Plan Commission and Town Board.

In their discussion, it was also recommended to the applicants to remove the roof top sign, use the International Building Code (IBC) accessibility requirements as it relates to parking dimensions and number of spaces. The parking ratio will be confirmed by a forthcoming parking study

Town Board will review for Conceptual and Preliminary approval on April 8, 2026.

Recommendation

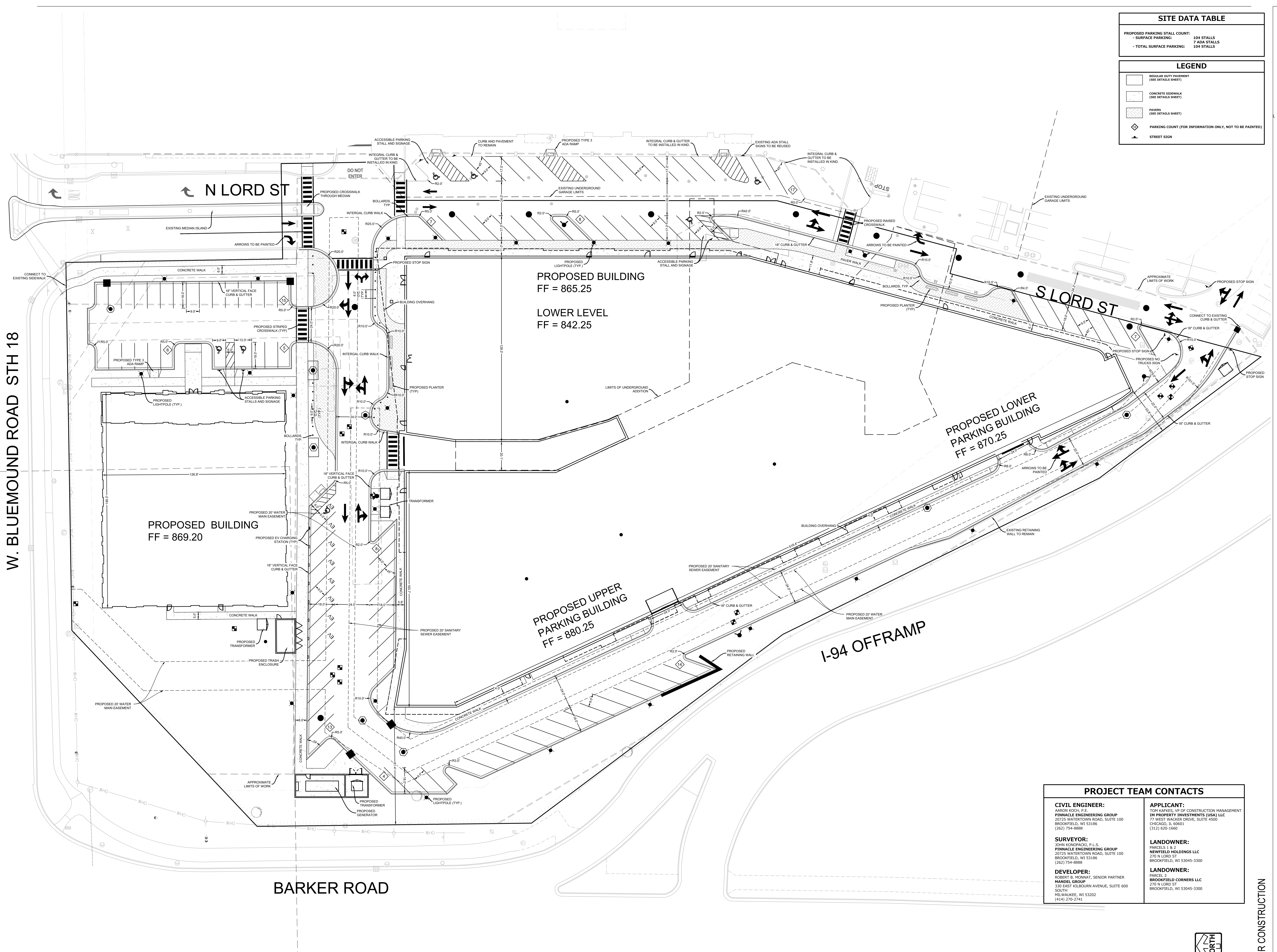
I recommend **Preliminary approval** of the proposed development known as The West End, located at 20391 W. Bluemound Road, Tax key No(s) BKFT1123.001, .004, .005, subject to the Plan Commission conditions noted above.

The development will improve traffic circulation and move loading zones away from customer parking areas. The buildings are designed to be an expansion of the existing development, offering additional retail and residential to the town. The lighting is consistent with what is existing at The Corners. Future sign renderings will be brought forth to ensure it is cohesive. The ARC may want to consider offering additional comments on the proposed landscaping, signage and lighting.

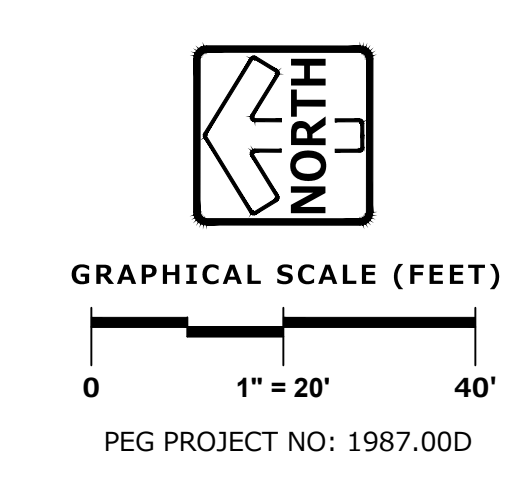
Enclosures

SITE DATA TABLE	
PROPOSED PARKING STALL COUNT:	104 STALLS
- SURFACE PARKING:	7 ADA STALLS
- TOTAL SURFACE PARKING:	104 STALLS

LEGEND	
	REGULAR DUTY PAVEMENT (SEE DETAILS SHEET)
	CONCRETE SIDEWALK (SEE DETAILS SHEET)
	PAVERS (SEE DETAILS SHEET)
	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)
	STREET SIGN



PROJECT TEAM CONTACTS	
CIVIL ENGINEER: AARON KOCH, P.E. PINNACLE ENGINEERING GROUP 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53196 (262) 754-8888	APPLICANT: TOM KAPKES, VP OF CONSTRUCTION MANAGEMENT TM PROPERTY INVESTMENTS (USA) LLC 77 WEST WACKER DRIVE, SUITE 4500 CHICAGO, IL 60601 (312) 626-1660
SURVEYOR: JOHN KONOPACKI, P.L.S. PINNACLE ENGINEERING GROUP 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53196 (262) 754-8888	LANDOWNER: PARCELS 1 & 2 NEWFIELD HOLDINGS LLC 270 N LORD ST BROOKFIELD, WI 53045-3300
DEVELOPER: ROBERT B. HORNWAT, SENIOR PARTNER MANDEL GROUP 330 EAST KILBOURN AVENUE, SUITE 600 SOUTH MILWAUKEE, WI 53202 (414) 270-2741	LANDOWNER: PARCEL 3 BROOKFIELD CORNERS LLC 270 N LORD ST BROOKFIELD, WI 53045-3300



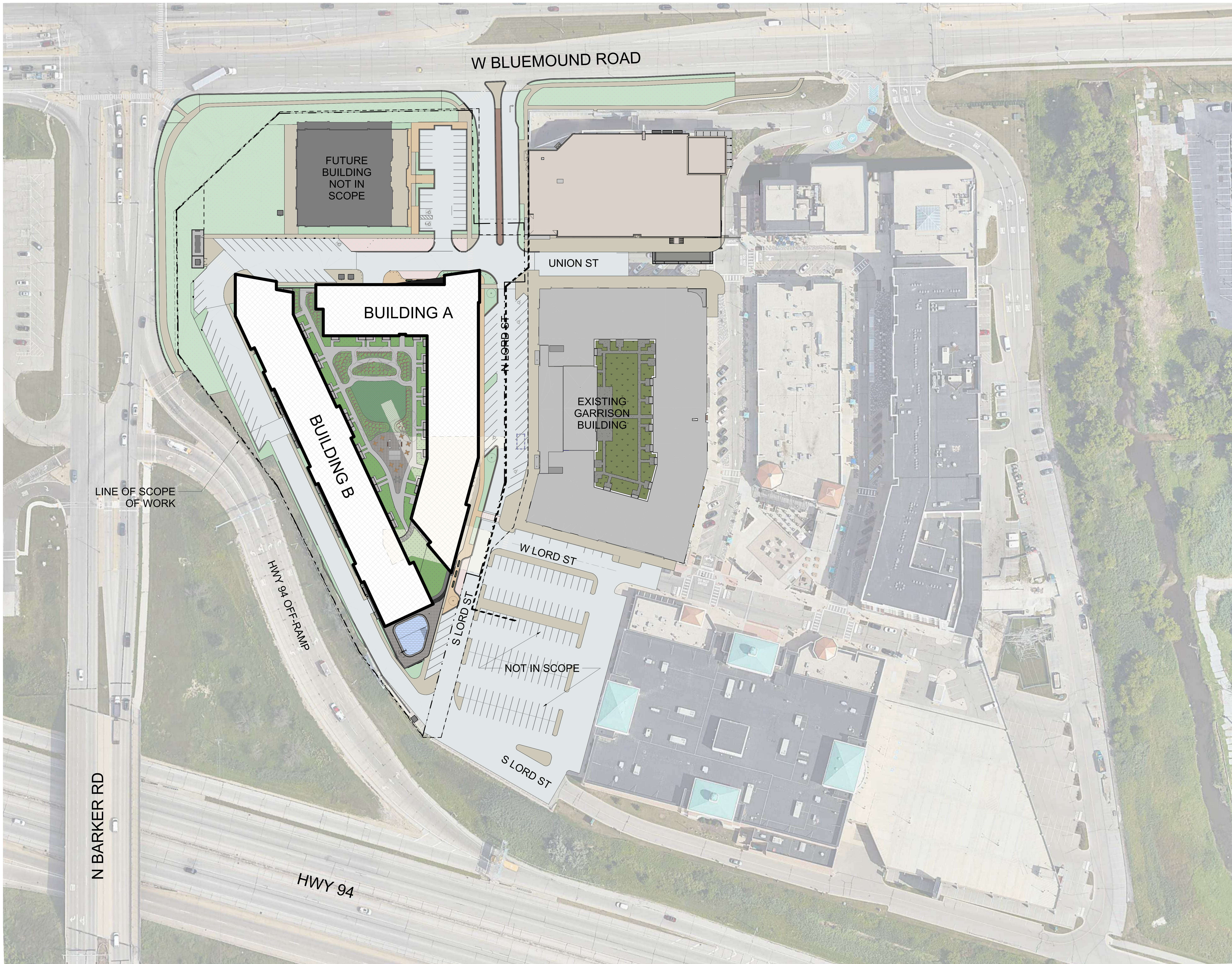
△ Revisions

DESIGN DEVELOPMENT SET
 THE CORNERS OF BROOKFIELD:
 PHASE II

20111 W BLUEMOUND ROAD
 BROOKFIELD, WI 53045
 Date Issued: 04/17/2026
 RINKA project #: 23203
 Sheet Title

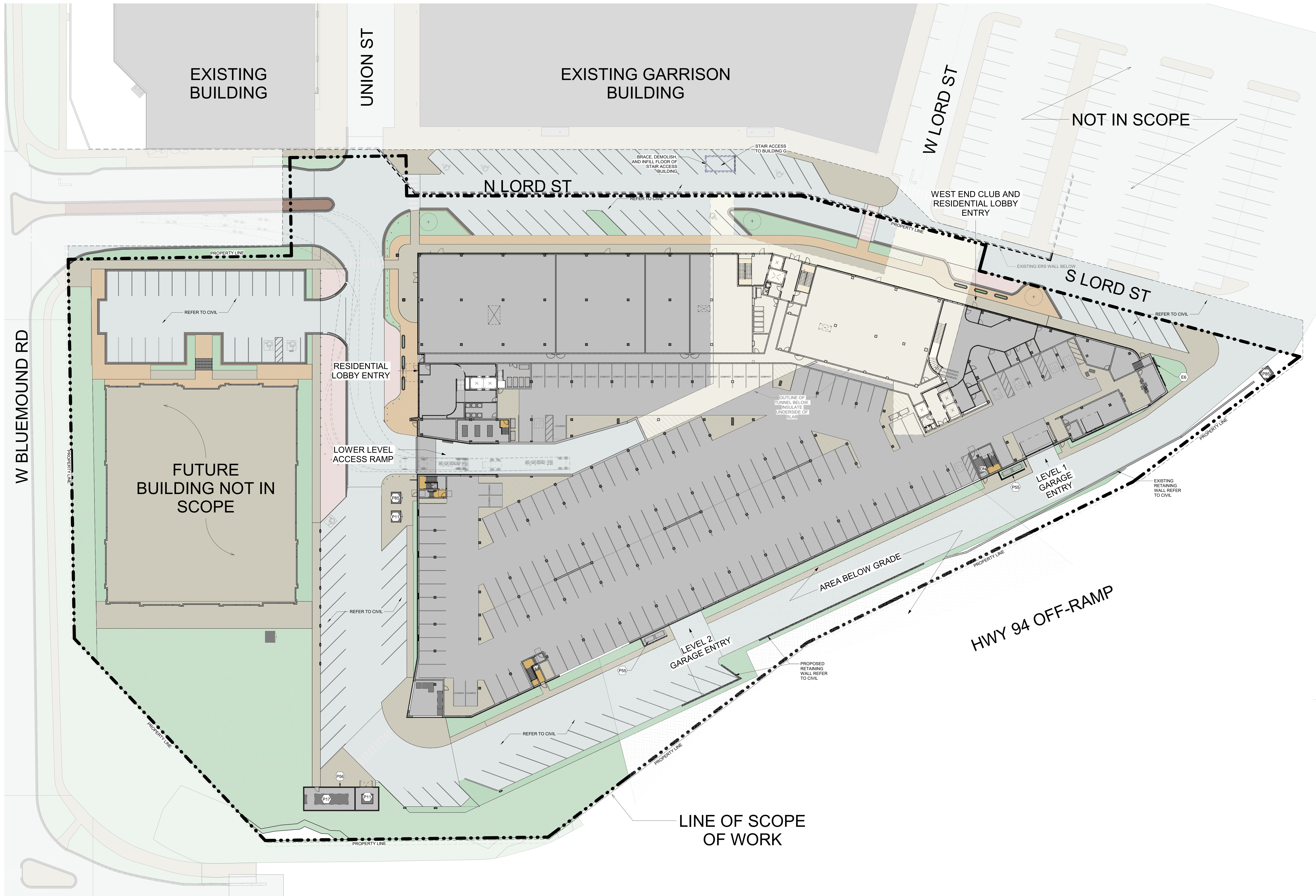
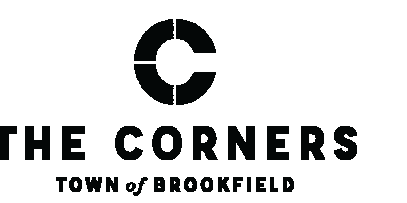
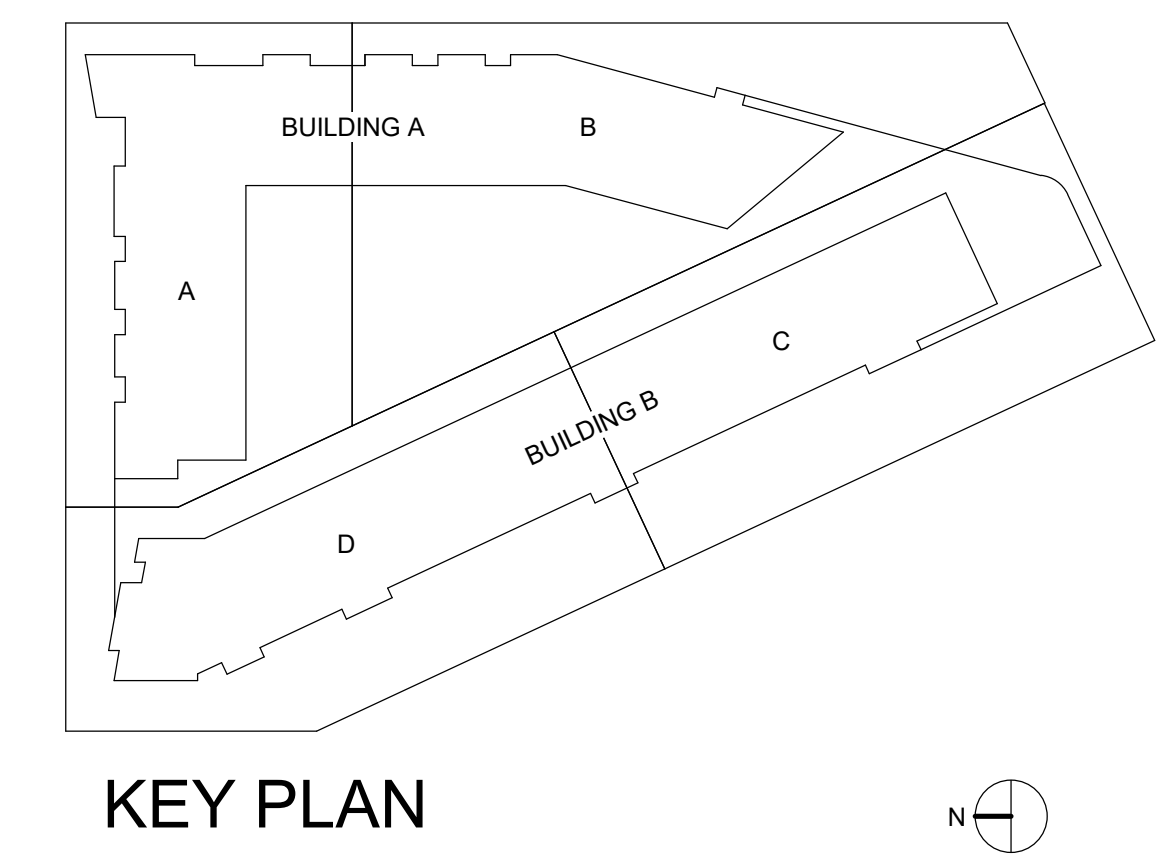
SITE PLAN
 Sheet # C2-01

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KEY NOTES

- ES MONUMENT SIGNAGE: PROVIDE POWER TO RACEWAY
- P11 TRANSFORMER & CONCRETE PAD, REFER TO ENERGY PROVIDER REQUIREMENTS
- P17 GENERATOR - COORDINATE WITH DESIGN/BUILD ELECTRICAL CONTRACTOR
- P55 RECYCLING ENCLOSURE -DCMU-1- CONSTRUCTION, 4' TALL
- P56 GENERATOR & TRANSFORMER ENCLOSURE W/ STEEL GATE -DCMU-1- CONSTRUCTION, 6' TALL
- P58 FIRE PUMP TRANSFORMER & CONCRETE PAD, COORDINATE WITH DESIGN/BUILD MEPPP CONTRACTOR



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DEVELOPMENT
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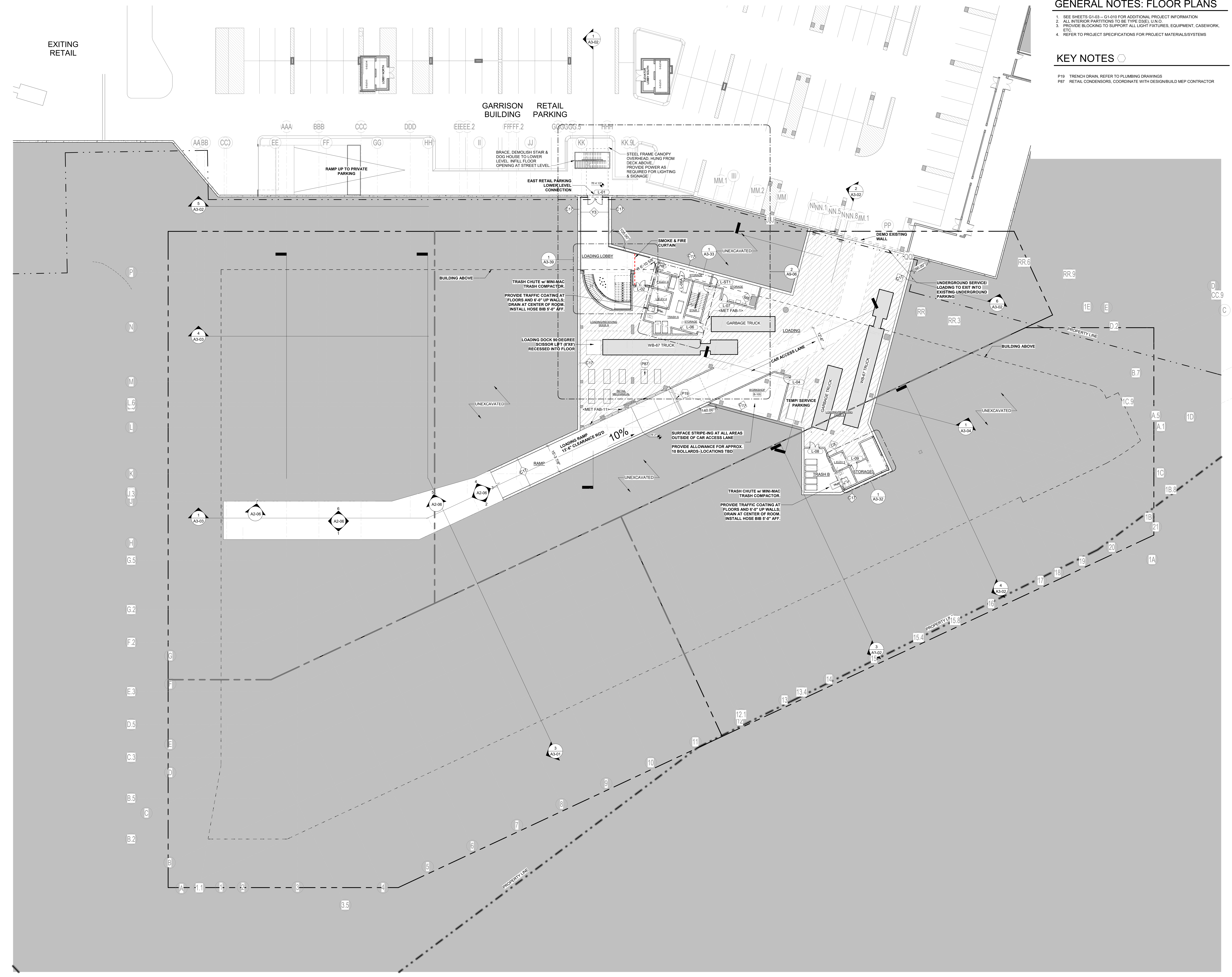
THE CORNERS OF
BROOKFIELD:
PHASE II

20111 W BLUEMOUND ROAD
BROOKFIELD, WI 53045
Date issued: 12/19/2025
RINKA project #: 23203
Sheet Title

ARCHITECTURAL
SITE PLAN

Sheet # **A1-00.1**

NOT FOR CONSTRUCTION



GENERAL NOTES: FLOOR PLANS

1. SEE SHEETS G1-03 - G1-010 FOR ADDITIONAL PROJECT INFORMATION
2. ALL INTERIOR PARTITIONS TO BE TYPE DQEL U.I.O.
3. PROVIDE BLOCKING TO SUPPORT ALL LIGHT FIXTURES, EQUIPMENT, CASEWORK, ETC.
4. REFER TO PROJECT SPECIFICATIONS FOR PROJECT MATERIALS/SYSTEMS

KEY NOTES

- P19 TRENCH DRAIN, REFER TO PLUMBING DRAWINGS
- P87 RETAIL CONDENSORS, COORDINATE WITH DESIGN/BUILD MEP CONTRACTOR

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DESIGN
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**THE CORNERS OF
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20111 W BLUEMOUND ROAD
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 Date issued: 12/19/2025
 RINKA project #: 23203
 Sheet Title

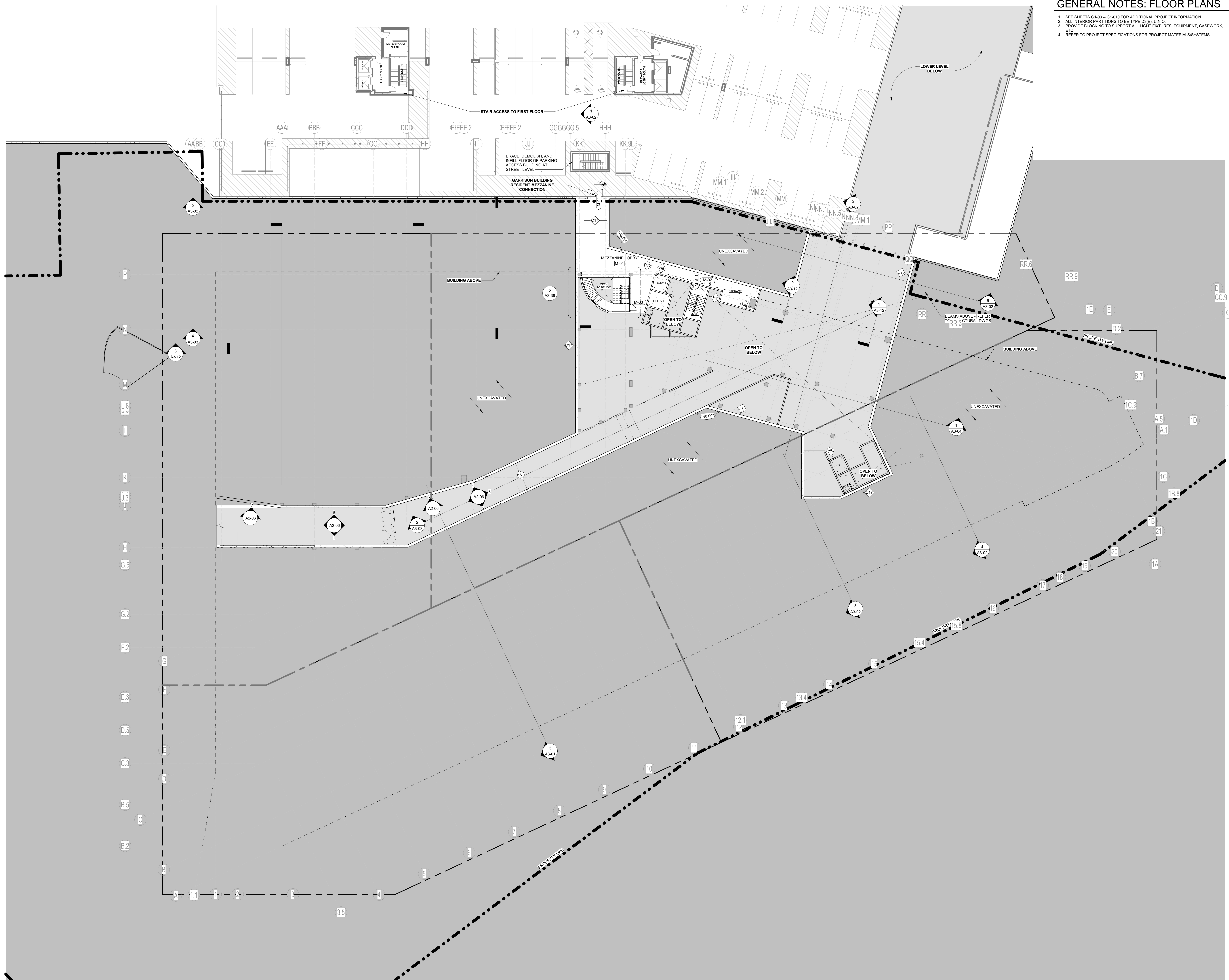
**LOWER LEVEL
 FLOOR PLAN**
 Sheet # **A1-01**

1 LOWER LEVEL - OVERALL FLOOR PLAN
 1/16" = 1'-0"

NOT FOR CONSTRUCTION

GENERAL NOTES: FLOOR PLANS

1. SEE SHEETS G1-03 - G1-010 FOR ADDITIONAL PROJECT INFORMATION
2. ALL INTERIOR PARTITIONS TO BE TYPE D301 U.I.O.
3. PROVIDE BLOCKING TO SUPPORT ALL LIGHT FIXTURES, EQUIPMENT, CASEWORK, ETC.
4. REFER TO PROJECT SPECIFICATIONS FOR PROJECT MATERIALS/SYSTEMS



1 MEZZANINE - OVERALL FLOOR PLAN
1/16" = 1'-0"

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DESIGN
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SET
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Date issued: 12/19/2025
RINKA project #: 23203
Sheet Title

OVERALL -
MEZZANINE FLOOR
PLAN

Sheet # A1-02

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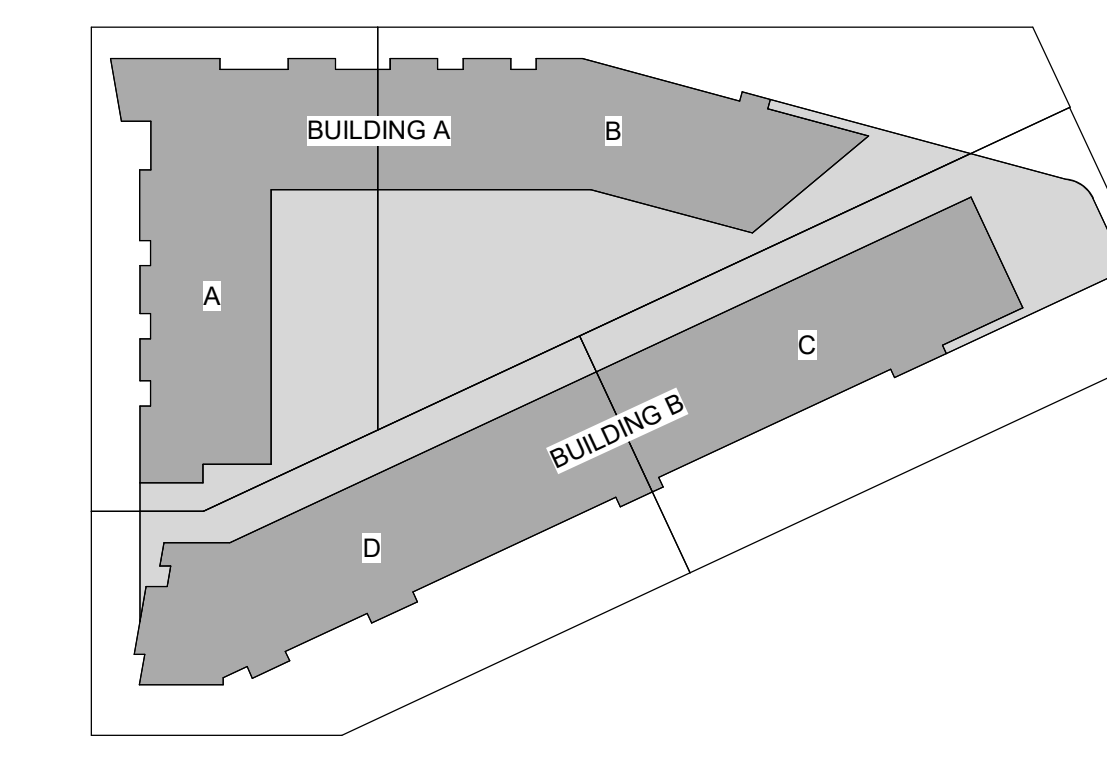


GENERAL NOTES: FLOOR PLANS

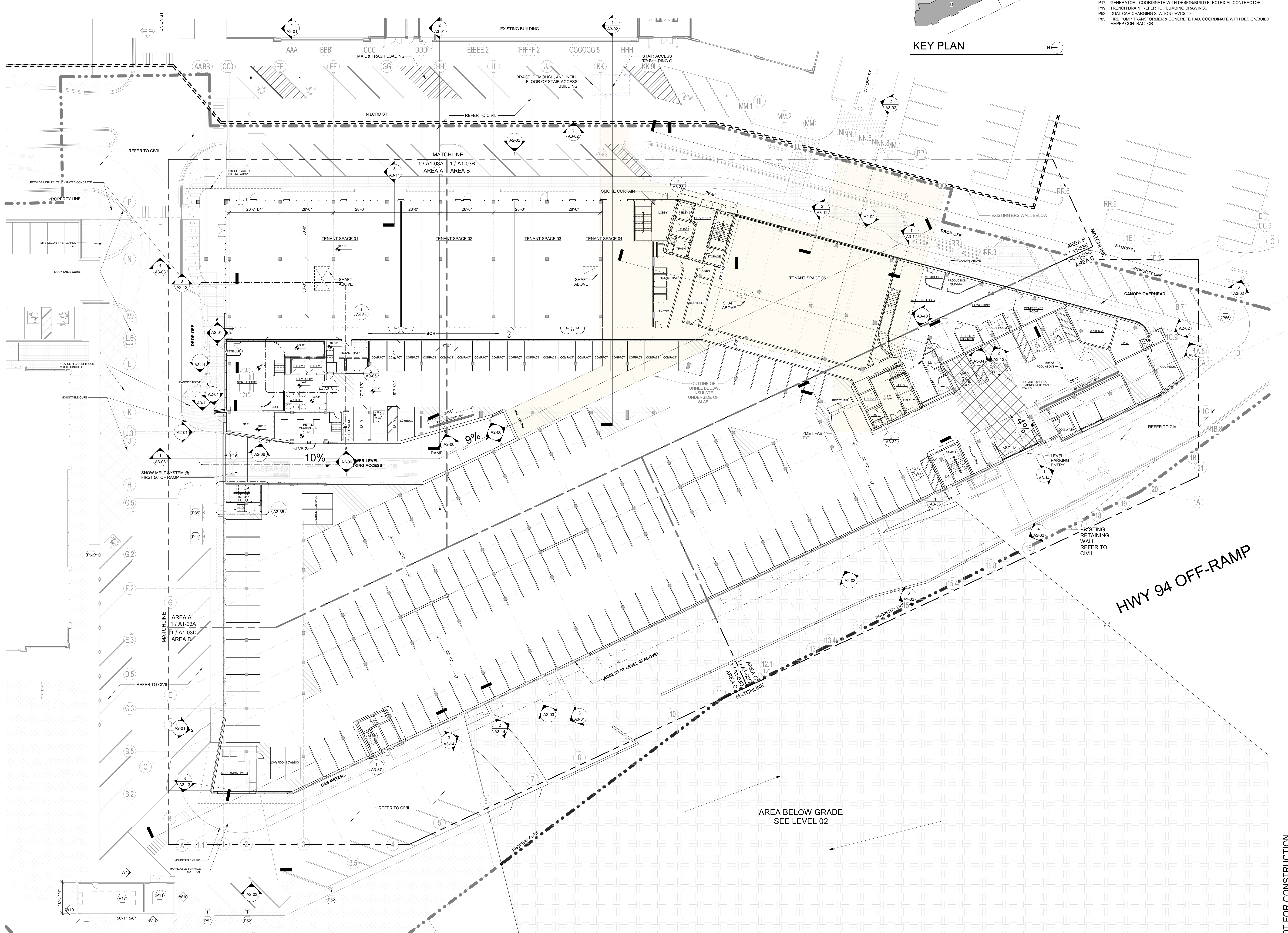
1. SEE SHEETS G1-03 - G1-010 FOR ADDITIONAL PROJECT INFORMATION
2. ALL INTERIOR PARTITIONS TO BE TYPE C201 U.I.O.
3. PROVIDE BLOCKING TO SUPPORT ALL LIGHT FIXTURES, EQUIPMENT, CASEWORK, ETC.
4. REFER TO PROJECT SPECIFICATIONS FOR PROJECT MATERIALS/SYSTEMS

KEY NOTES

- P11 TRANSFORMER & CONCRETE PAD. REFER TO ENERGY PROVIDER REQUIREMENTS
- P17 GENERATOR - COORDINATE WITH DESIGN/BUILD ELECTRICAL CONTRACTOR
- P19 TRENCH DRAIN, REFER TO PLUMBING DRAWINGS
- PS2 DUAL CAR CHARGING STATION - EVCS 1-9
- PS5 FIRE PUMP TRANSFORMER & CONCRETE PAD. COORDINATE WITH DESIGN/BUILD MEPP CONTRACTOR



KEY PLAN



1 LEVEL 01 - OVERALL FLOOR PLAN
1/16" = 1'-0"

△ Revisions

DESIGN
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SET
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BROOKFIELD:
PHASE II**

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**OVERALL - LEVEL
01 FLOOR PLAN**
Sheet # **A1-03**

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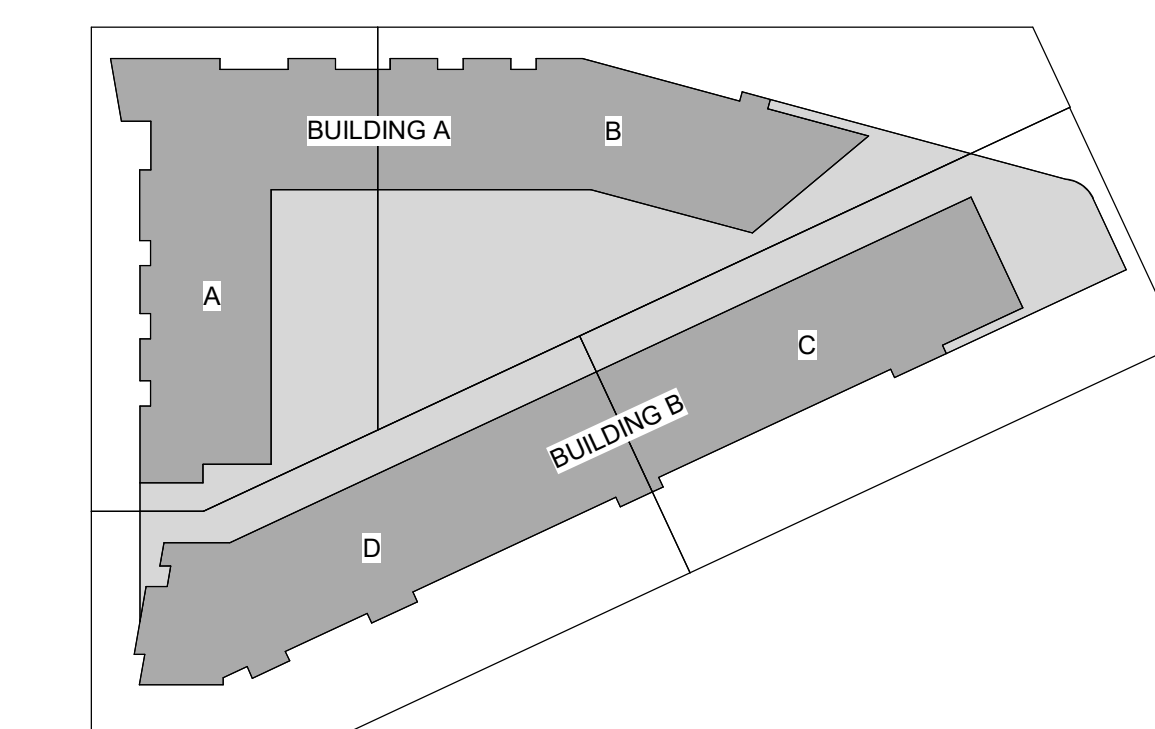
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332 E Kilbuck Avenue
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GENERAL NOTES: FLOOR PLANS

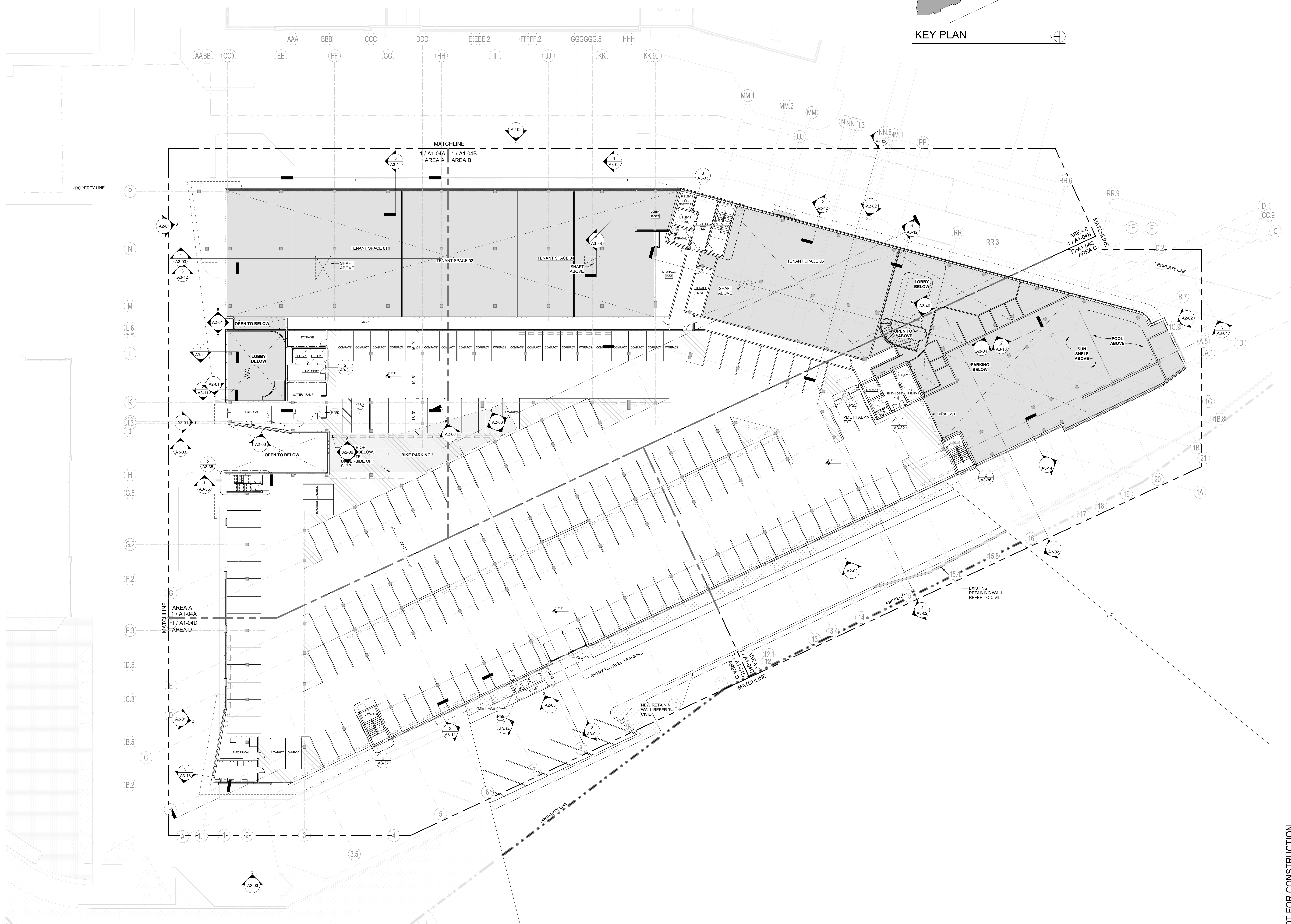
- SEE SHEETS G1-03 - G1-010 FOR ADDITIONAL PROJECT INFORMATION
- ALL INTERIOR PARTITIONS TO BE TYPE C30E1 U.I.O.
- PROVIDE BLOCKING TO SUPPORT ALL LIGHT FIXTURES, EQUIPMENT, CASEWORK, ETC.
- REFER TO PROJECT SPECIFICATIONS FOR PROJECT MATERIALS/SYSTEMS

KEY NOTES

P55 RECYCLING ENCLOSURE, <DCMU-1> CONSTRUCTION, 4' TALL



KEY PLAN



1 LEVEL 02 - OVERALL FLOOR PLAN
1/16" = 1'-0"

Revisions

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PHASE II

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BROOKFIELD, WI 53005
Date issued: 12/19/2025
RINKA project #: 23203
Sheet Title

OVERALL - LEVEL 02 FLOOR PLAN

Sheet # A1-04

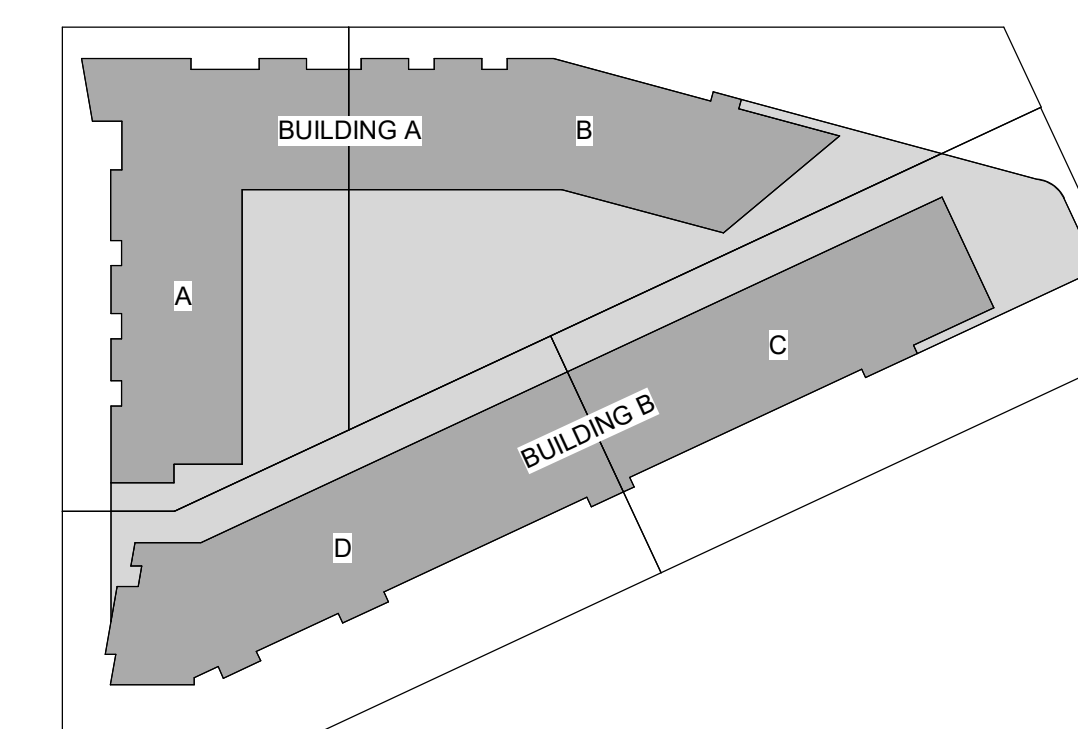
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GENERAL NOTES: FLOOR PLANS

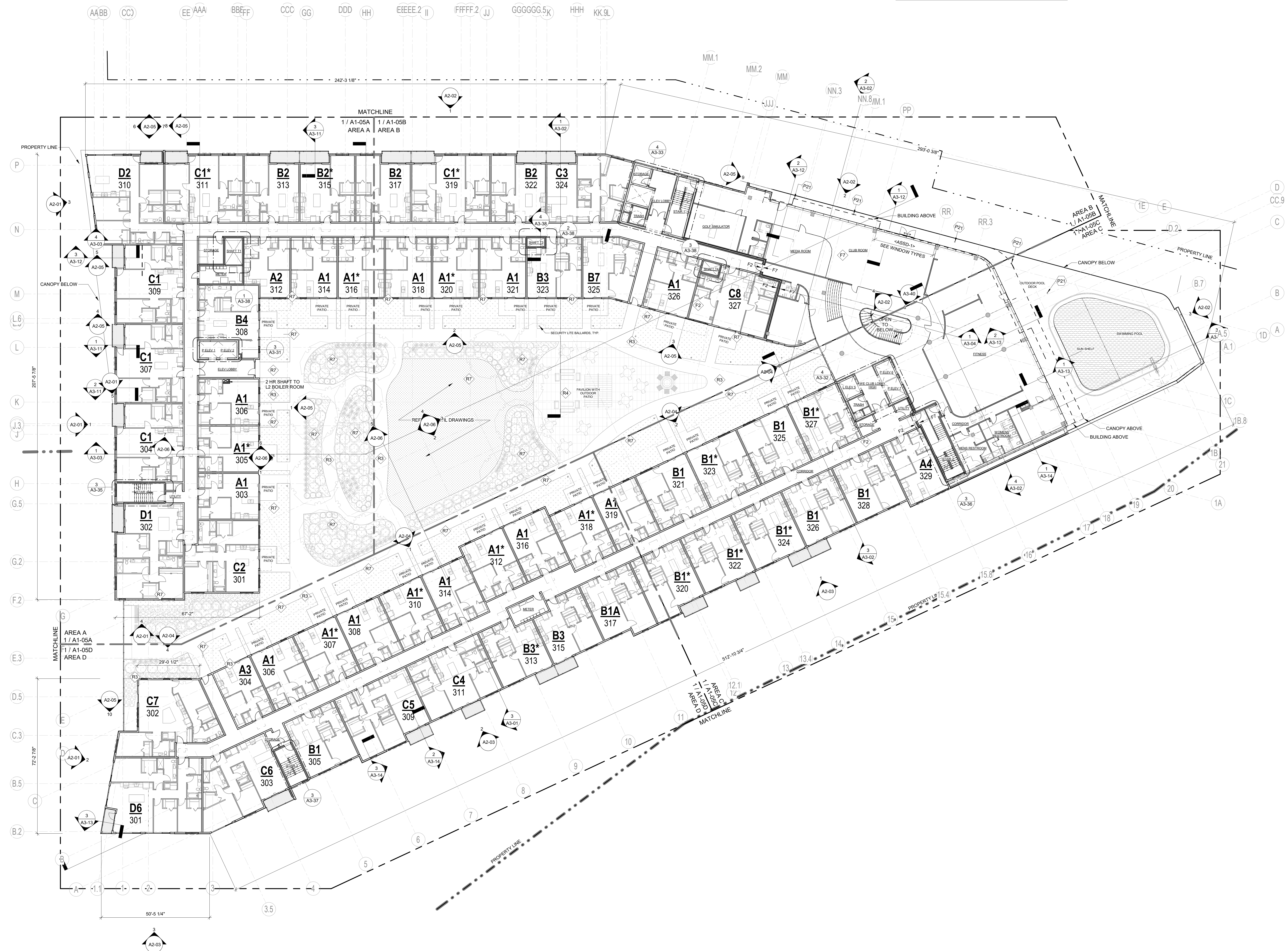
- SEE SHEETS G1-03 - G1-010 FOR ADDITIONAL PROJECT INFORMATION
- ALL INTERIOR PARTITIONS TO BE TYPE CMU/1 U.N.O.
- PROVIDE BLOCKING TO SUPPORT ALL LIGHT FIXTURES, EQUIPMENT, CASEWORK, ETC.
- REFER TO PROJECT SPECIFICATIONS FOR PROJECT MATERIALS/SYSTEMS

KEY NOTES

P21 DECK DRAIN - COORDINATE WITH DESIGN/BUILD PLUMBING CONTRACTOR



KEY PLAN



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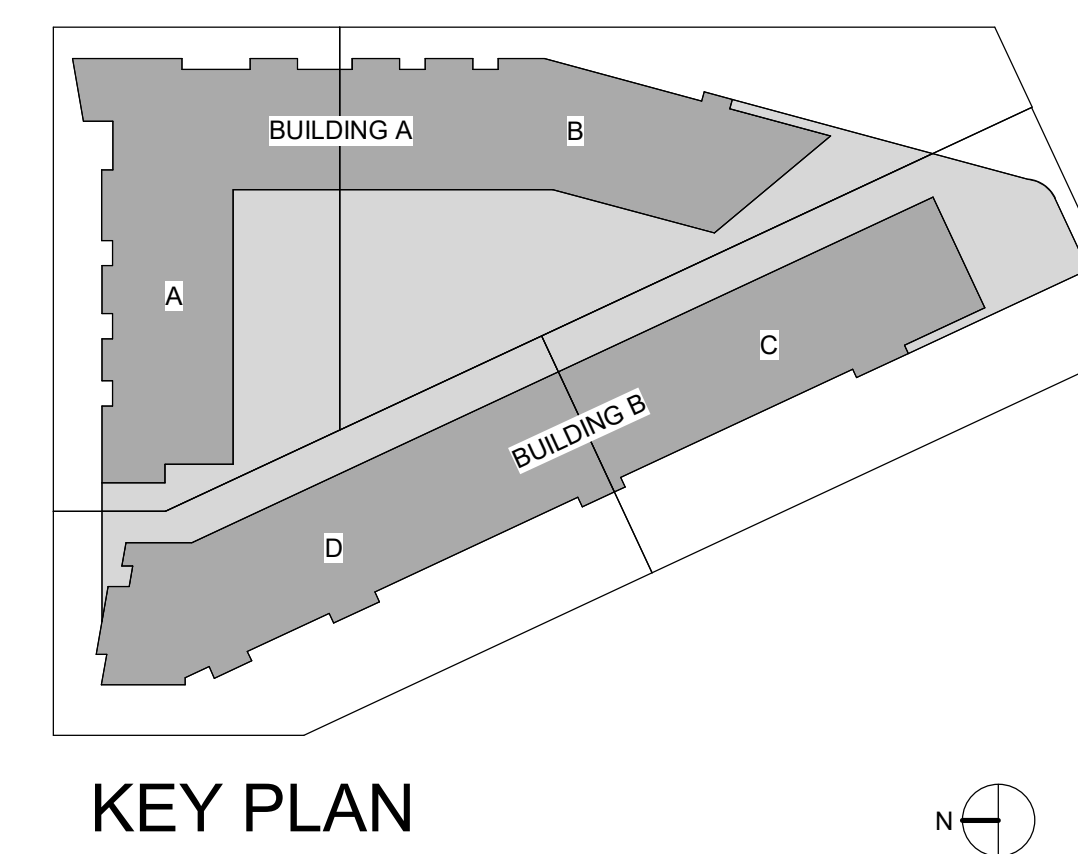
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Date issued: 12/19/2025
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Sheet Title

OVERALL - LEVEL
03 FLOOR PLAN
Sheet # **A1-05**

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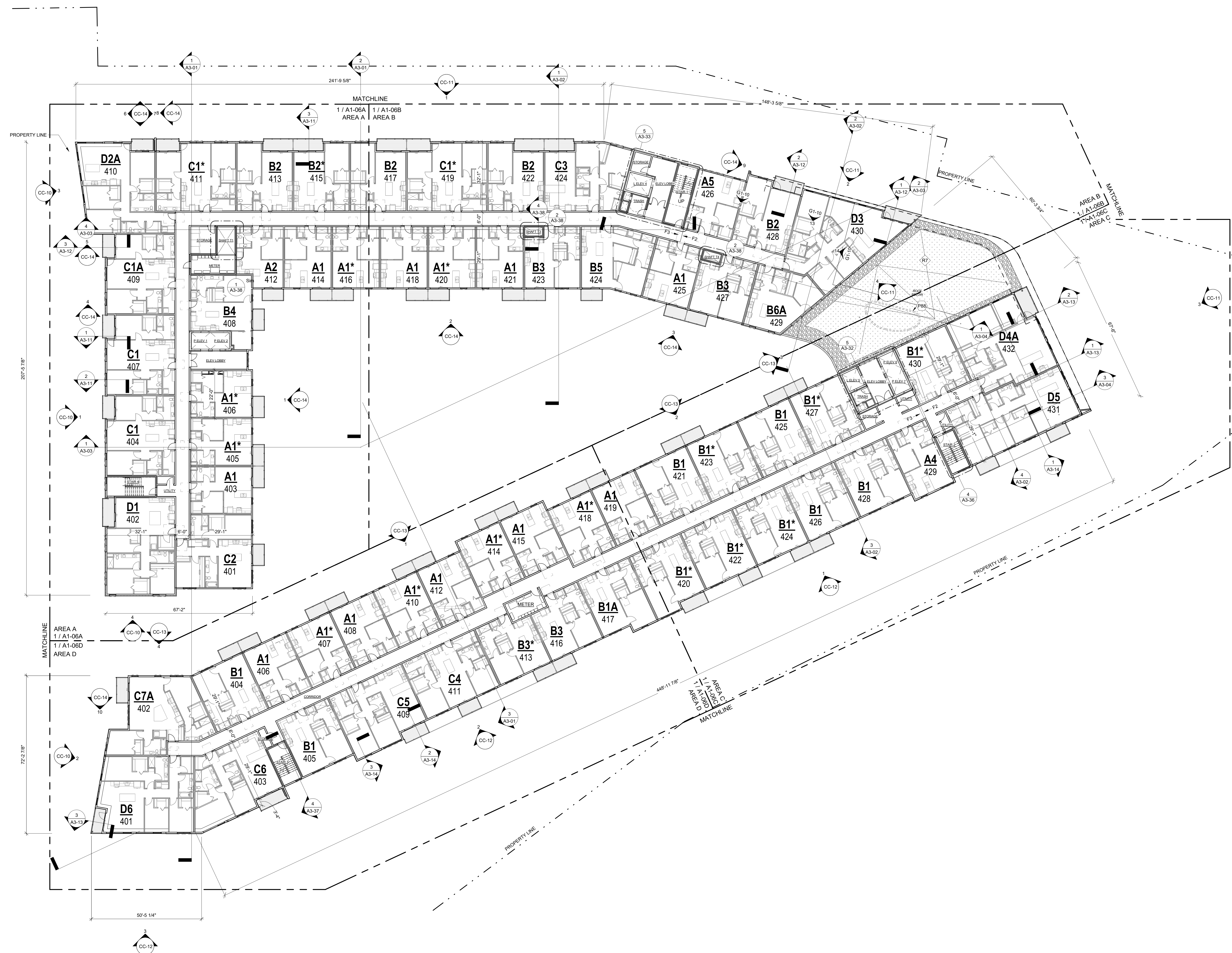


GENERAL NOTES: FLOOR PLANS

1. SEE SHEETS G1-03 - G1-010 FOR ADDITIONAL PROJECT INFORMATION
2. ALL INTERIOR PARTITIONS TO BE TYPE D3E1 U.N.O.
3. PROVIDE BLOCKING TO SUPPORT ALL LIGHT FIXTURES, EQUIPMENT, CASEWORK, ETC.
4. REFER TO PROJECT SPECIFICATIONS FOR PROJECT MATERIALS/SYSTEMS

KEY NOTES

P88 ADD ALTERNATE - GLASS SKYLIGHT SYSTEM



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SET

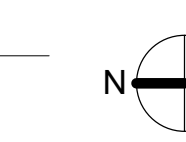
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BROOKFIELD:
PHASE II

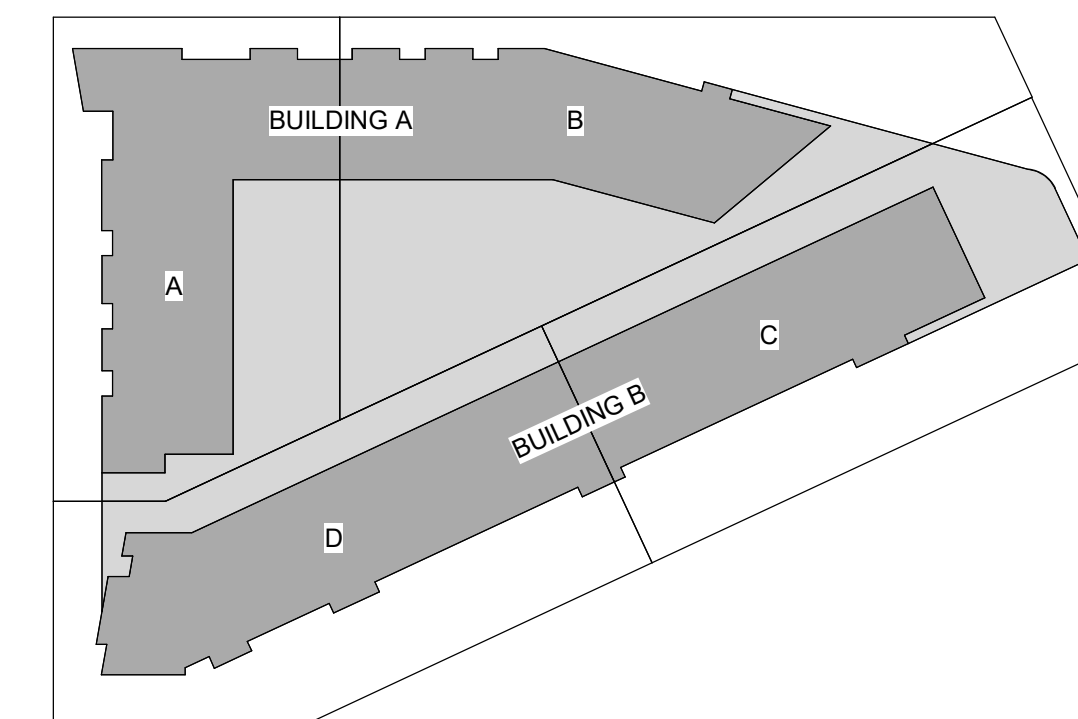
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Sheet Title

OVERALL - LEVEL
04 FLOOR PLAN

Sheet # **A1-06**

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KEY PLAN

GENERAL NOTES: FLOOR PLANS

1. SEE SHEETS G1-03 - G1-010 FOR ADDITIONAL PROJECT INFORMATION
2. ALL INTERIOR PARTITIONS TO BE TYPE D301 U.I.O.
3. PROVIDE BLOCKING TO SUPPORT ALL LIGHT FIXTURES, EQUIPMENT, CASEWORK, ETC.
4. REFER TO PROJECT SPECIFICATIONS FOR PROJECT MATERIALS/SYSTEMS

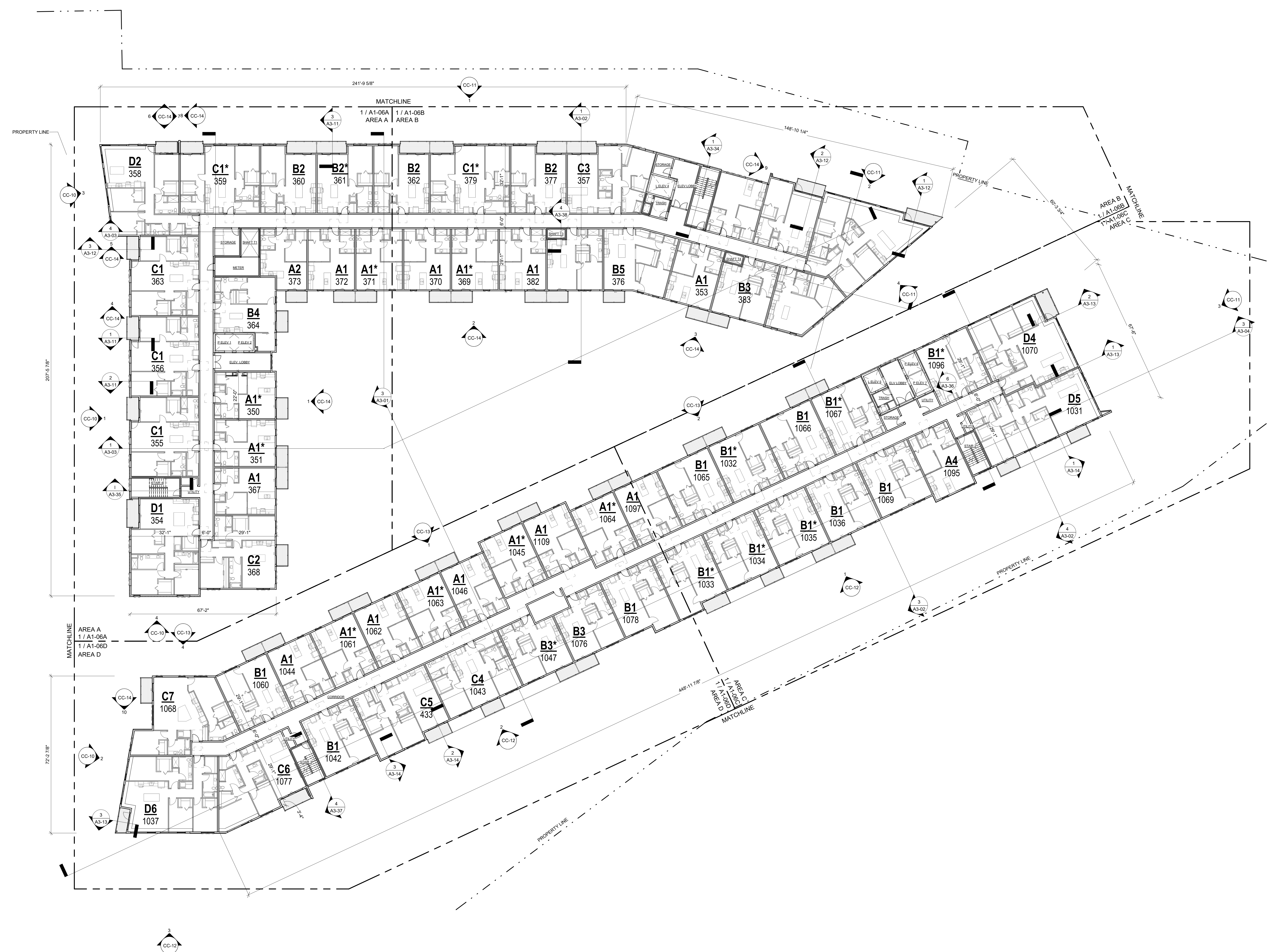
KEY NOTES ○

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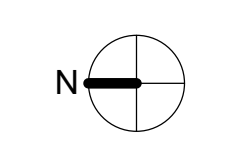
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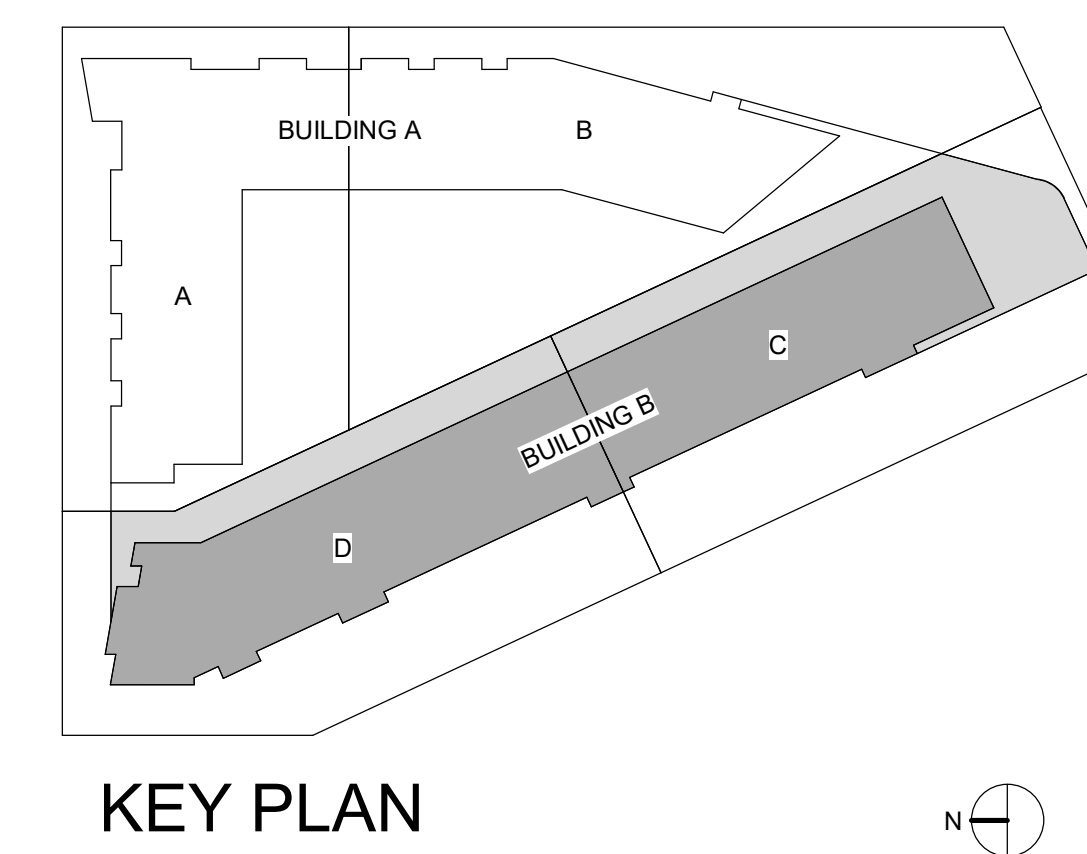
20111 W BLUEMOUND ROAD
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 Date issued: 12/19/2025
 RINKA project #: 23203
 Sheet Title

OVERALL - LEVEL
 05-06 FLOOR PLAN

Sheet # **A1-07**

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GENERAL NOTES: FLOOR PLANS

1. SEE SHEETS G1-03 - G1-010 FOR ADDITIONAL PROJECT INFORMATION
2. ALL INTERIOR PARTITIONS TO BE TYPE D3E1 U.N.O.
3. PROVIDE BLOCKING TO SUPPORT ALL LIGHT FIXTURES, EQUIPMENT, CASEWORK, ETC.
4. REFER TO PROJECT SPECIFICATIONS FOR PROJECT MATERIALS/SYSTEMS

KEY NOTES ○

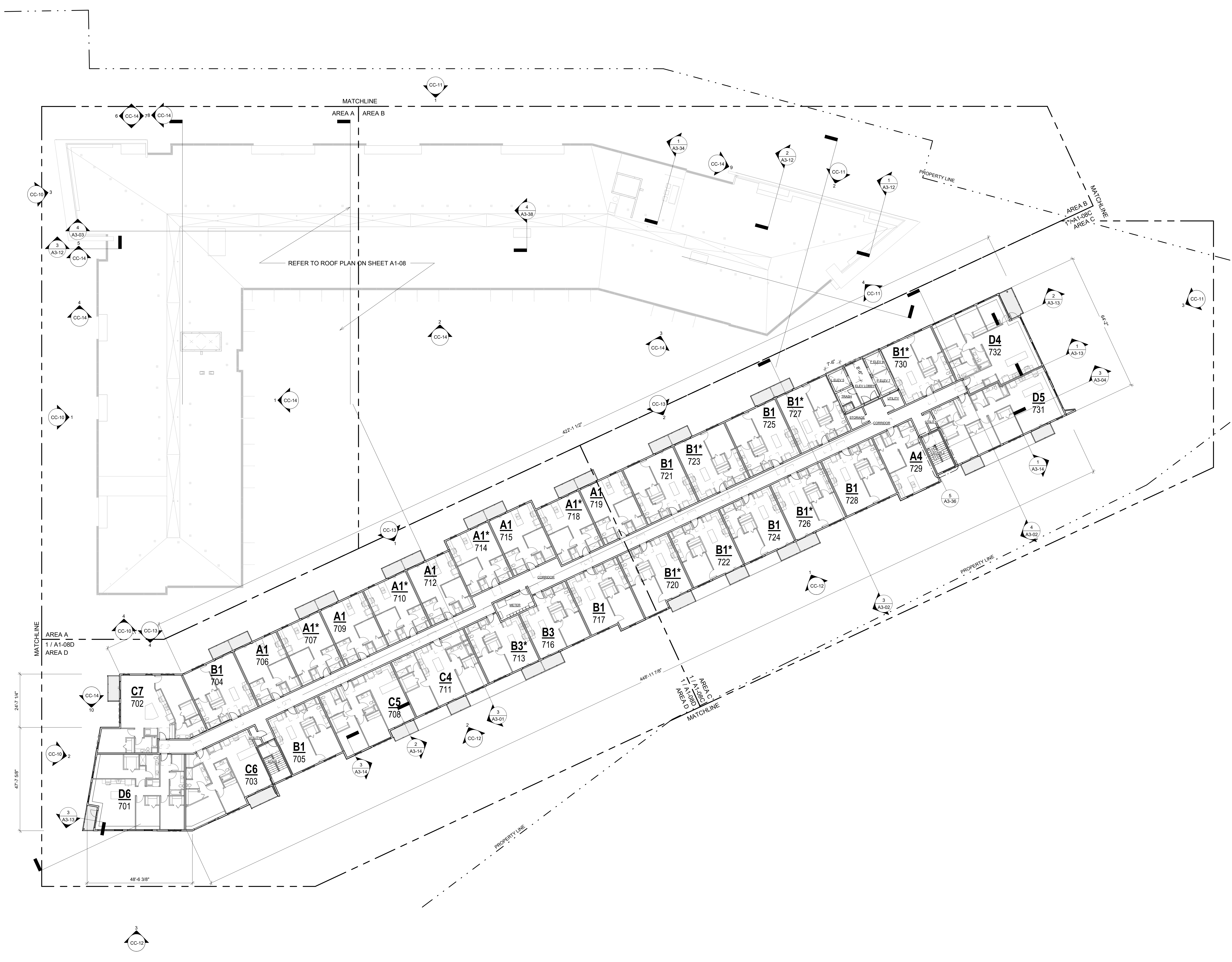
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1 LEVEL 07 - OVERALL FLOOR PLAN
 1/16" = 1'-0"

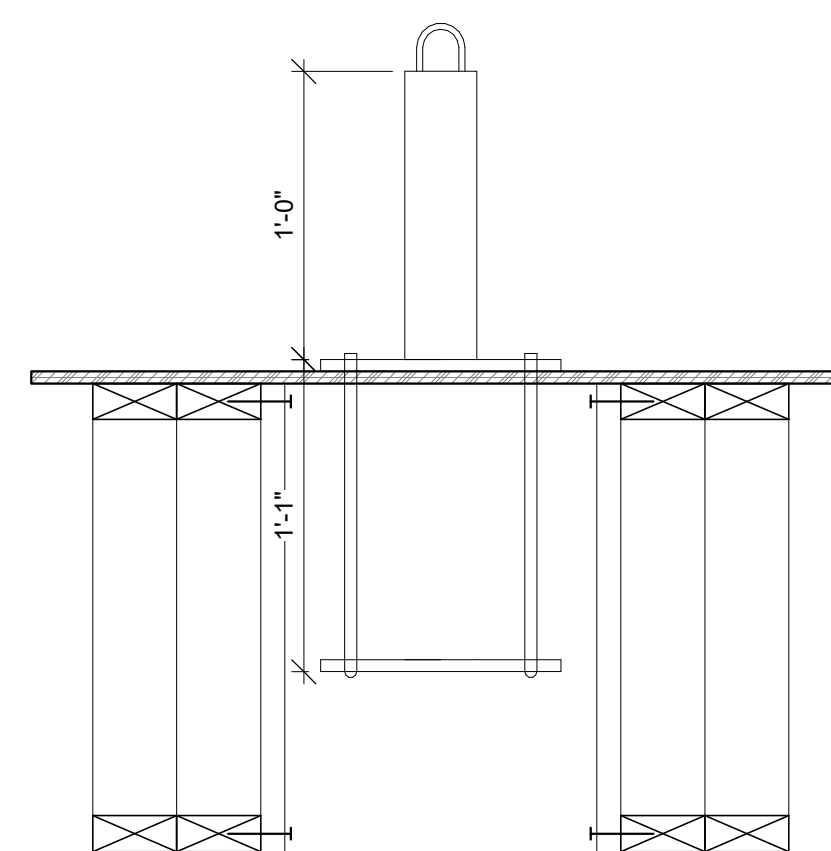
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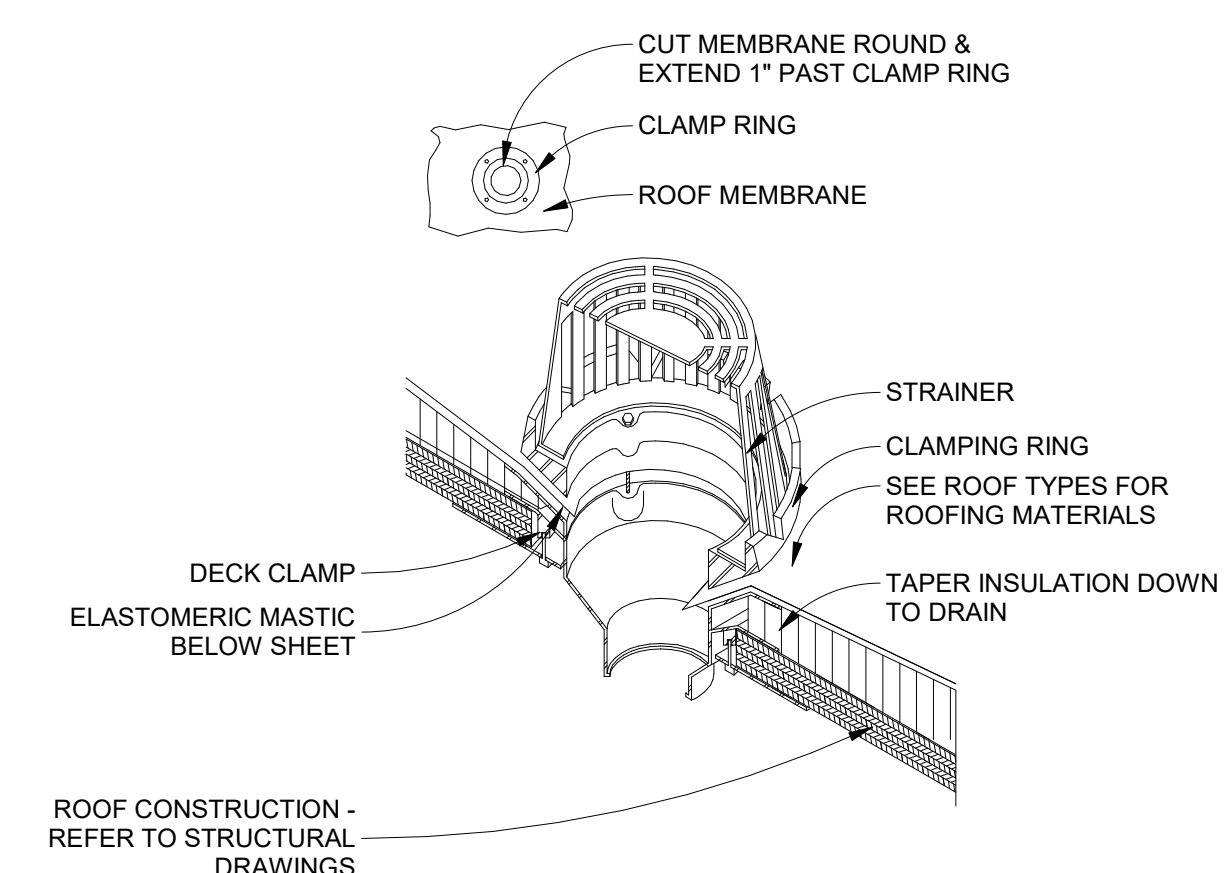
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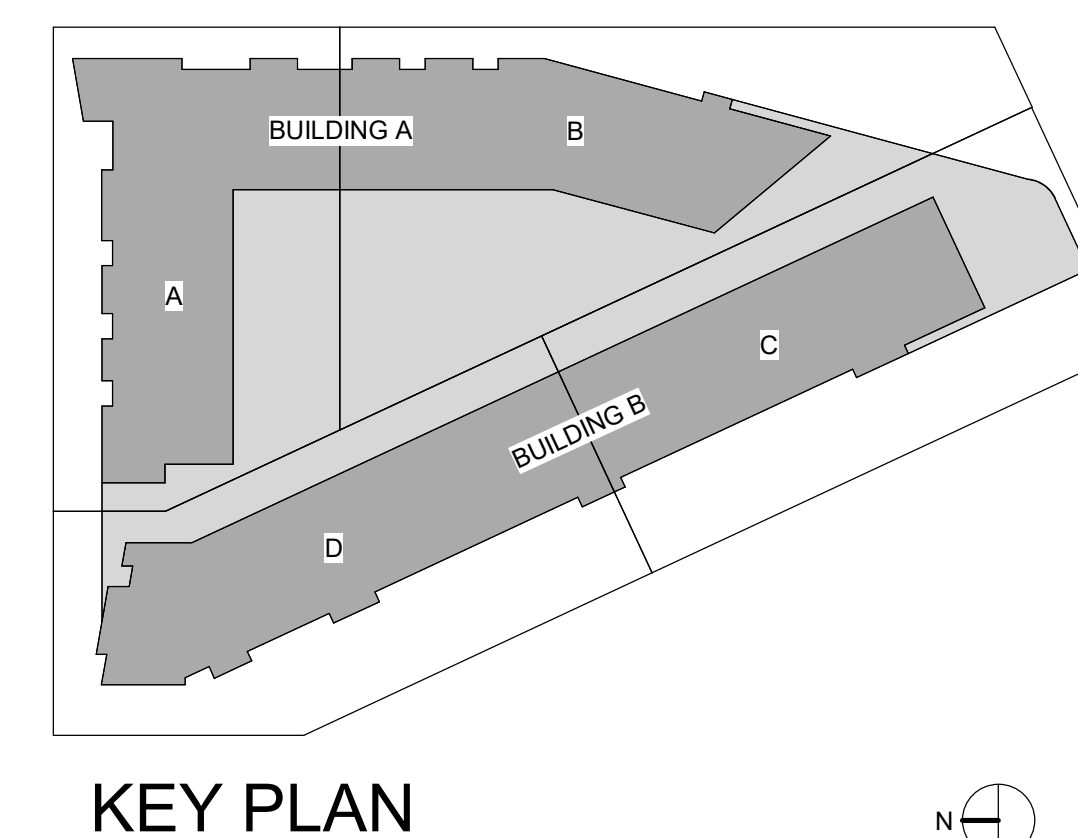
OVERALL - LEVEL
 07 FLOOR PLAN
 Sheet # **A1-08**



3 TYPICAL ROOF DAVIT DETAIL
1/16" = 1'-0"



2 TYPICAL ROOF DRAIN DETAIL
1/16" = 1'-0"



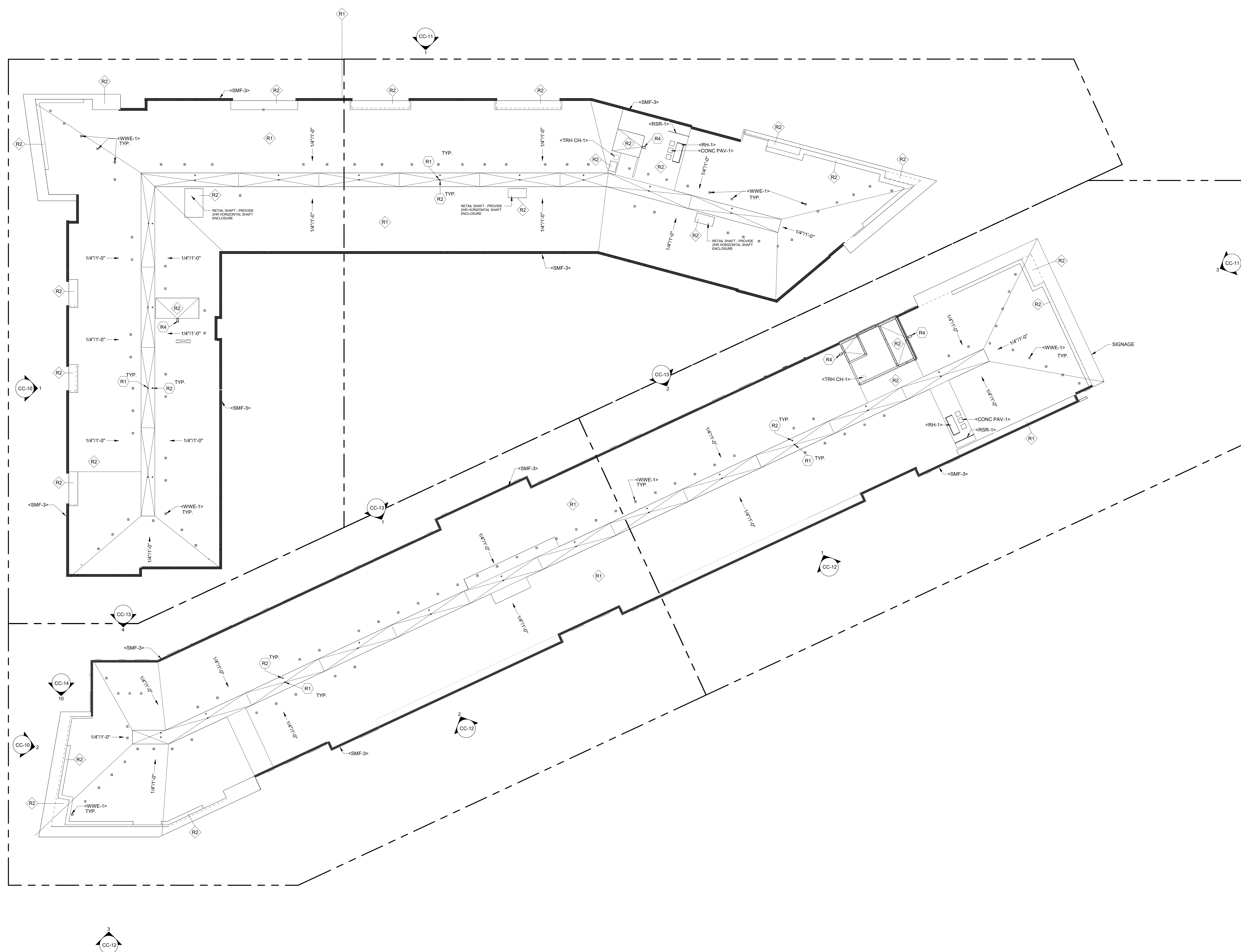
KEY PLAN

GENERAL NOTES: ROOF PLANS

1. ALL FLAT ROOFS SHALL HAVE MIN. 1/4" PER FOOT SLOPE FOR DRAINAGE.
2. PROVIDE TAPERED INSULATION SADDLES AND CRICKETS AT 1/4" PER FOOT AT ALL ROOF TOP EQUIPMENT AND PENETRATIONS TO ENSURE POSITIVE DRAINAGE.
3. FLASH ALL ROOF PENETRATIONS PER MANUFACTURER'S REQUIREMENTS TO PROVIDE CONTINUOUS WARRANTY.
4. ALL ROOF PENETRATIONS (PLUMBING STACK VENTS, ETC.) TO BE PAINTED TO MATCH FINISHED ROOFING COLOR.
5. CONTRACTOR TO VERIFY AND COORDINATE LOCATIONS OF ALL MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS WITH MEP DRAWINGS.
6. PROVIDE DRAFTSTOPPING WITH MINIMUM OF 1/2" WOOD SHEATHING TO SUBDIVIDE THE ATTIC INTO SPACES OF 3,000 SQUARE FEET MAXIMUM AREAS, TYPICAL.
7. PROVIDE VALLEY FLASHING 18" UP EACH SLOPED FACE.
8. FINAL LOCATIONS OF DOWNSPOUTS TO BE VERIFIED IN FIELD WITH INSTALLER, CONTRACTOR, OWNER, AND ARCHITECT. DOWNSPOUTS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
9. DOWNSPOUTS TO BE TIED IN TO SUB-SURFACE DRAINAGE SYSTEM. REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
10. PROVIDE ICE AND WATER SHIELD AT ALL EAVES AND VALLEYS. LAP OVER METAL DRIP EDGE A MINIMUM OF 2" AND EXTEND FROM EAVE TO 24" HORIZONTALLY BEYOND THE INSIDE FACE OF EXTERIOR WALL.
11. SEE PROJECT SPECIFICATIONS MANUAL FOR ADDITIONAL REQUIREMENTS.

KEY NOTES

- R1 ROOF DRAIN - COORDINATE WITH DIB PLUMBING CONTRACTOR - PROVIDE 4" RIGID INSULATION MIN. 4" @ DRAIN
- R2 ROOF DRAIN OVERFLOW - COORDINATE WITH DIB PLUMBING CONTRACTOR - PROVIDE 4" RIGID INSULATION MIN. 4" @ DRAIN, PIPE TO WALL SCUPPER
- R4 CONCRETE SPLASH BLOCK, INCLUDE AT ALL SCUPPER LOCATIONS DRAINING ONTO ROOF SURFACES



1 ROOF PLAN - WEST BUILDING
1/16" = 1'-0"

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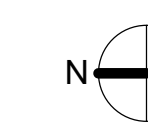
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Date issued: 12/19/2025
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Sheet Title

OVERALL - ROOF
PLAN

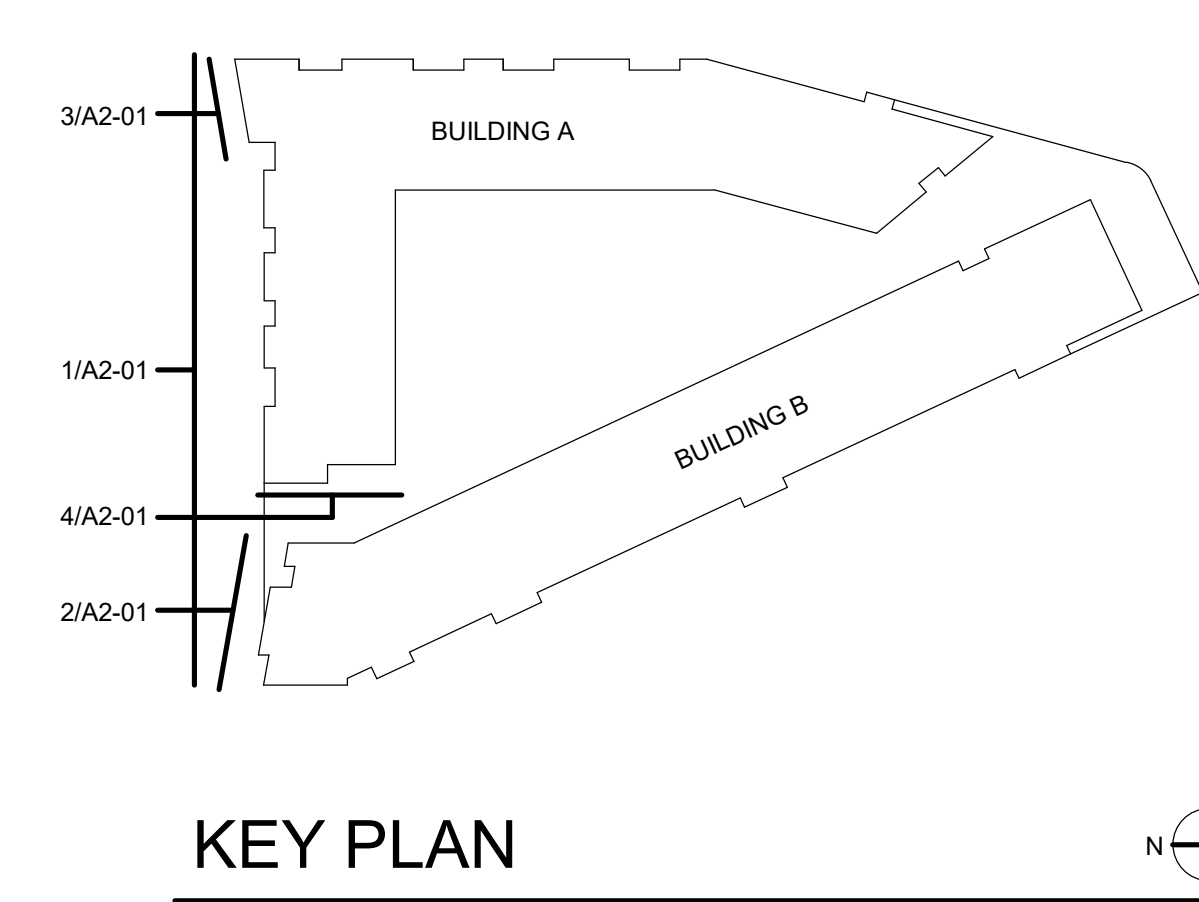
Sheet # **A1-09**

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EXTERIOR MATERIAL KEY

<FCS-1>	NICHIPANEL SMOOTH COLOR: BLACK	<JUS-1>	COSENTINO, DEKTON W/ CONCEALED FASTENERS COLOR: DOMMOOS
<FCS-2>	NICHHA, DIMENSION SERIES, RIBBED COLOR: CUSTOM BLACK	<TRS-1>	AVENIRE, NEACERA TERRA, COTTA RAINGREEN SYSTEM COLOR: GLOSS WHITE
<FCS-3>	NICHHA, DIMENSION SERIES, RIBBED COLOR: IVORY	<DCMU-2>	ECHELON CORDOVA STONE PRECAST MASONRY SILL COLOR: BUFF GROUND FACE
<MV-1>	HEBRON BRICK VENEER, UTILITY SIZE COLOR: OPUS	<FCS-4>	NICHHA, WOOD SERIES, VINTAGEWOOD COLOR: CEDAR
<SMF-3>	BREAK METAL TRIM COLOR: BLACK	<FCS-5>	NICHHA, WOOD SERIES, VINTAGEWOOD COLOR: CEDAR
<MP-4>	METAL PANEL WALL SYSTEM COLOR: BLACK	<FCS-6>	NICHIPANEL SMOOTH COLOR: CUSTOM
<APC-1>	PRECAST WALL PANEL - SMOOTH FORMED FINISH	<APC-2>	PRECAST WALL PANEL - RIBBED FINISH - RECLU-15 FORMLINER APPLICATION - 2169 COLUMBIA
<DCMU-1>	ECHELON CORDOVA STONE COLOR: MIDNIGHT		



GENERAL NOTES: EXT. ELEVATIONS

- SEE SHEET G1-03 THRU G1-08 FOR ADDITIONAL PROJECT INFORMATION
- PROVIDE DRIP CAP FLASHING AT ALL WINDOW & DOOR HEADS
- REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATIONS
- WINDOW SUPPLIER TO PROVIDE TEMPERED GLAZING AS REQUIRED PER SECTION 2406 OF THE 2015 IBC.
- EXHAUST VENT COVERS IN EXTERIOR WALLS SHALL HAVE COLOR TO MATCH ADJACENT SIDING OR MASONRY COLOR
- EXTERIOR MATERIALS, DETAILING, AND COLORS TO WRAP CORNER AT ALL BAY CONDITIONS AND TERMINATE AT THE INSIDE CORNER, UNLESS OTHERWISE NOTED
- CONTROL JOINTS SHOULD OCCUR AT INSIDE CORNER WHERE WALLS MEET AND WHERE SHOWN ON ELEVATIONS. EXTEND UP ENTIRE MASONRY VENEER FACE, UNLESS NOTED OTHERWISE
- SEAL ALL WALL PENETRATIONS WITH MEMBRANE FLASHING AT SURFACE OF EXTERIOR SHEATHING
- GENERAL CONTRACTOR TO CONSOLIDATE AND ALIGN VERTICALLY AND HORIZONTALLY ALL DRYER AND EXHAUST VENTS. COORDINATE WITH MEP ARCHITECTURAL AND STRUCTURAL
- CONFIRM EXTERIOR SIGNAGE LOCATIONS WITH THE OWNER AND PROVIDE BLOCKING AND POWER AS REQUIRED. COORDINATE EXTERIOR FINISH INSTALLATION WITH SIGNAGE AS NECESSARY.

KEY NOTES

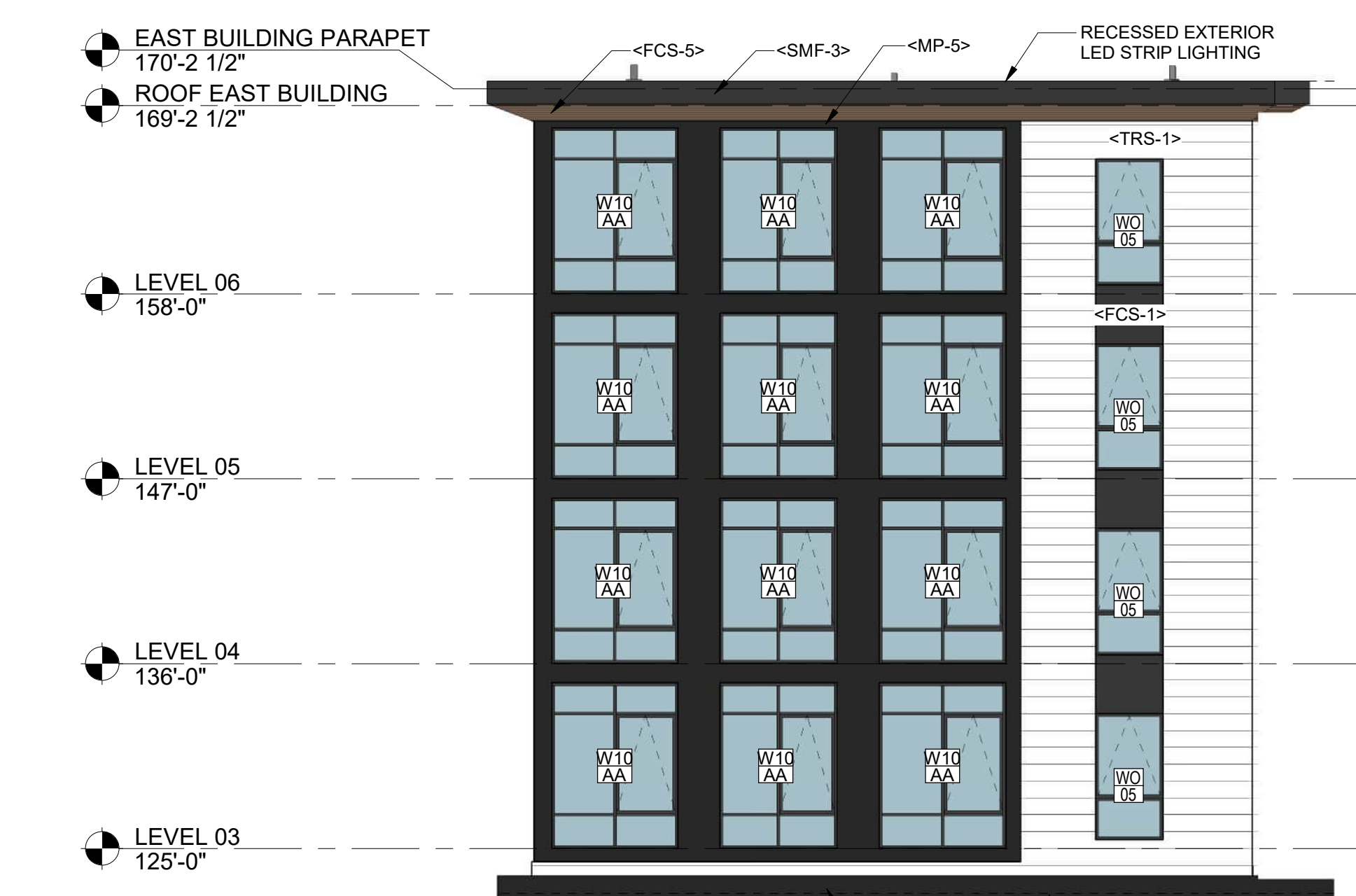
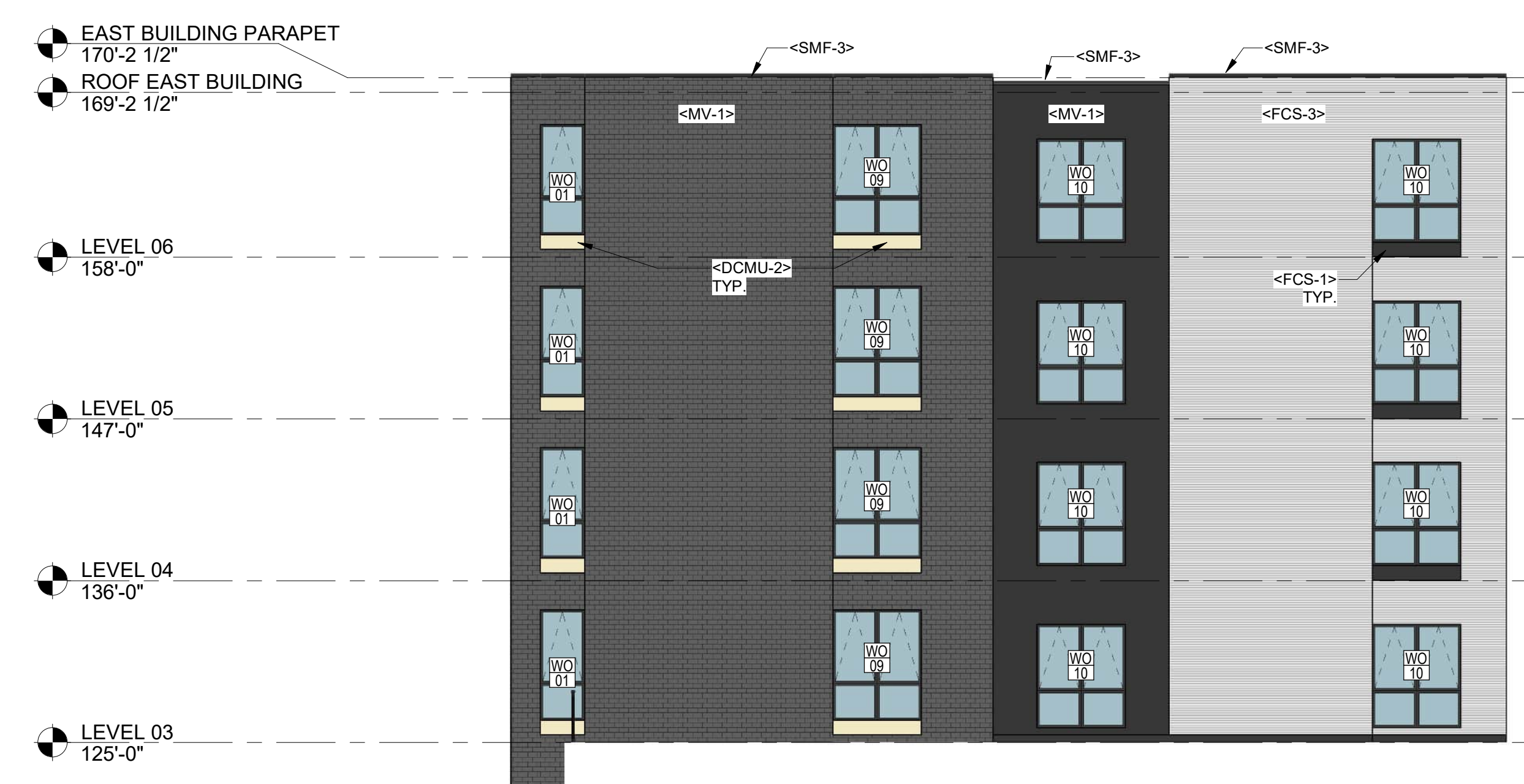
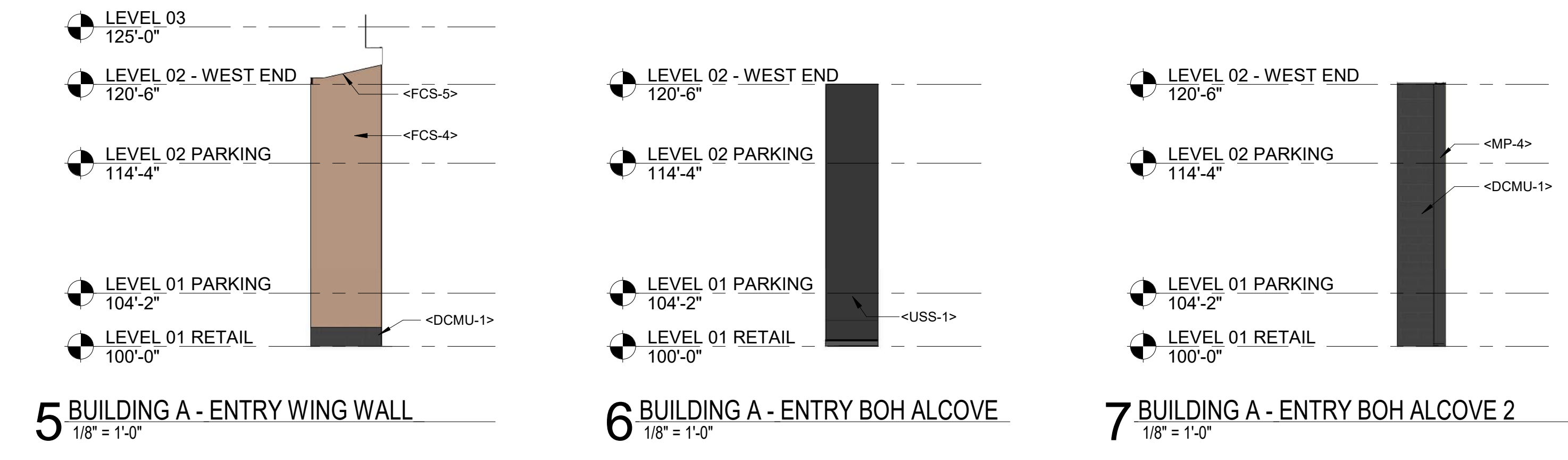
- E7 PARKING BLADE SIGNAGE, PROVIDE POWER & DATA TO RACEWAY
- E8 INDIVIDUALLY ROUTED, BACKLIT, ALUMINUM LETTER SIGNAGE, PROVIDE POWER
- E9 FIRE RAMP METERS, COORDINATE WITH DESIGN/BLD MEP/FP CONTRACTOR
- E10 ENTRY CANOPY - <MET FAB-14> STEEL FRAMED CANOPY OVERHANGS, PROVIDE ROOF DRAINS AS EREQ'D. BLACK TIE ROD SUPPORTS W/ HPC-1, FINISH PERIMETER WITH MP-5 AND SCFFIT AS FCS-5

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4 BUILDING A COURTYARD - NORTH-NORTHEAST
1/8" = 1'-0"

3 BUILDING A - NORTH ELEVATION 2
1/8" = 1'-0"

2 BUILDING B - NORTH ELEVATION
1/8" = 1'-0"



1 BUILDING A - NORTH ELEVATION 1
1/8" = 1'-0"

Revisions

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THE CORNERS OF BROOKFIELD:
PHASE II

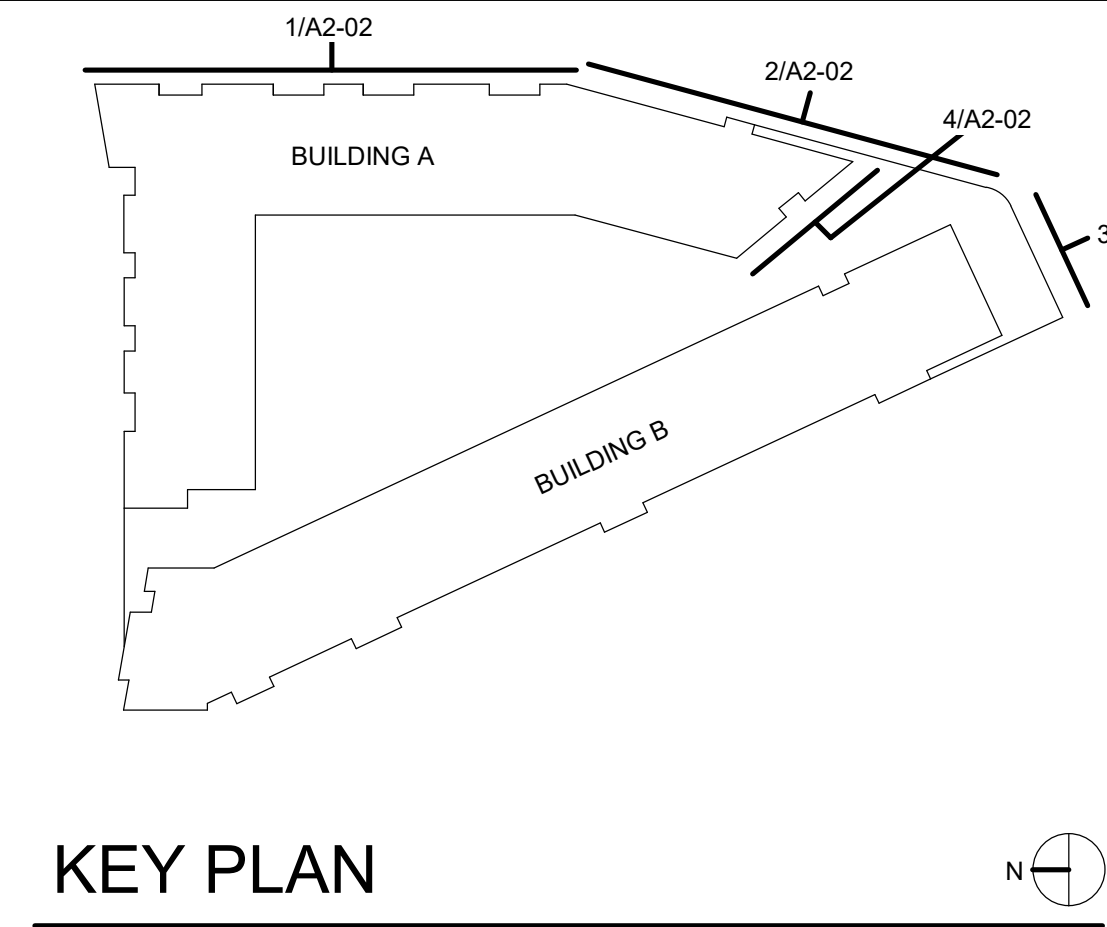
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EXTERIOR ELEVATIONS
Sheet # **A2-01**

GENERAL NOTES: EXT. ELEVATIONS

- SEE SHEET G1-03 THRU G1-08 FOR ADDITIONAL PROJECT INFORMATION
- PROVIDE DRIP CAP FLASHING AT ALL WINDOW & DOOR HEADS
- REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATIONS
- WINDOW SUPPLIER TO PROVIDE TEMPERED GLAZING AS REQUIRED PER SECTION 2406 OF THE 2015 IBC
- EXHAUST VENT COVERS IN EXTERIOR WALLS SHALL HAVE COLOR TO MATCH ADJACENT SIDING OR MASONRY COLOR
- EXTERIOR MATERIALS, DETAILING, AND COLORS TO WRAP CORNER AT ALL BAY CONDITIONS AND TERMINATE AT THE INSIDE CORNER, UNLESS OTHERWISE NOTED
- CONTROL JOINTS SHOULD OCCUR AT INSIDE CORNER WHERE WALLS MEET AND WHERE SHOWN ON ELEVATIONS. EXTEND UP ENTIRE MASONRY VENEER FACE, UNLESS NOTED OTHERWISE
- SEAL ALL WALL PENETRATIONS WITH MEMBRANE FLASHING AT SURFACE OF EXTERIOR SHEATHING
- GENERAL CONTRACTOR TO CONSOLIDATE AND ALIGN VERTICALLY AND HORIZONTALLY ALL DRYER AND EXHAUST VENTS. COORDINATE WITH MECH. ARCHITECTURAL AND STRUCTURAL
- CONFIRM EXTERIOR SIGNAGE LOCATIONS WITH THE OWNER AND PROVIDE BLOCKING AND POWER AS REQUIRED. COORDINATE EXTERIOR FINISH INSTALLATION WITH SIGNAGE AS NECESSARY.



KEY PLAN

KEY NOTES

- E5 TENANT PROVIDED SIGNAGE. PROVIDE POWER TO RACEWAY.
- E6 MONUMENT SIGNAGE. PROVIDE POWER TO RACEWAY.
- E7 PARKING BLADE SIGNAGE. PROVIDE POWER & DATA TO RACEWAY
- E8 INDIVIDUALLY ROUTED, BACKLIT, ALUMINUM LETTER SIGNAGE. PROVIDE POWER
- E9 FIRE PUMP METERS. COORDINATE WITH DESIGN/BUILD MEFP/ CONTRACTOR
- E10 ENTRY CANOPY - MET FAB-14 STEEL FRAMED CANOPY OVERHANG. PROVIDE ROOF DRAINS AS EROZD. BLACK TIE ROD SUPPORTS W/ HPC-1 FINISH PERMITTER NOTES AND PERFF-15 FCS

EXTERIOR MATERIAL KEY

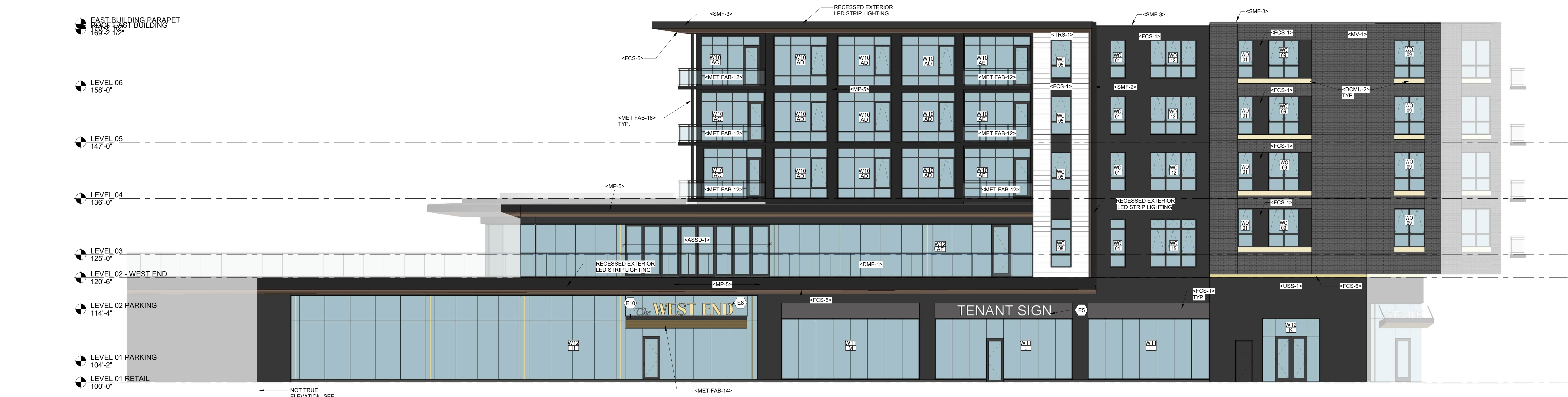
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<SMF-3>	BREAK METAL TRIM COLOR: BLACK	<FCS-5>	NICHIPA: WOOD SERIES, VINTAGEWOOD COLOR: CEDAR
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<APC-1>	PRECAST WALL PANEL - SMOOTH FORMED FINISH	<DCMU-1>	ECHOLON CORDOVA STONE COLOR: MIDNIGHT



4 BUILDING B COURTYARD - SOUTH-SOUTHEAST ELEVATION
 1/8" = 1'-0"



3 BUILDING B - SOUTHEAST ELEVATION 1
 1/8" = 1'-0"



2 BUILDING A - EAST ELEVATION 3
 1/8" = 1'-0"



1 BUILDING A - EAST ELEVATION 1
 1/8" = 1'-0"

△ Revisions

DESIGN DEVELOPMENT SET
 THE CORNERS OF BROOKFIELD: PHASE II

20111 W BLUEMOUND ROAD
 BROOKFIELD, WI 53005
 Date issued: 12/19/2025
 RINKA project #: 23203
 Sheet Title

EXTERIOR ELEVATIONS
 Sheet # **A2-02**

NOT FOR CONSTRUCTION



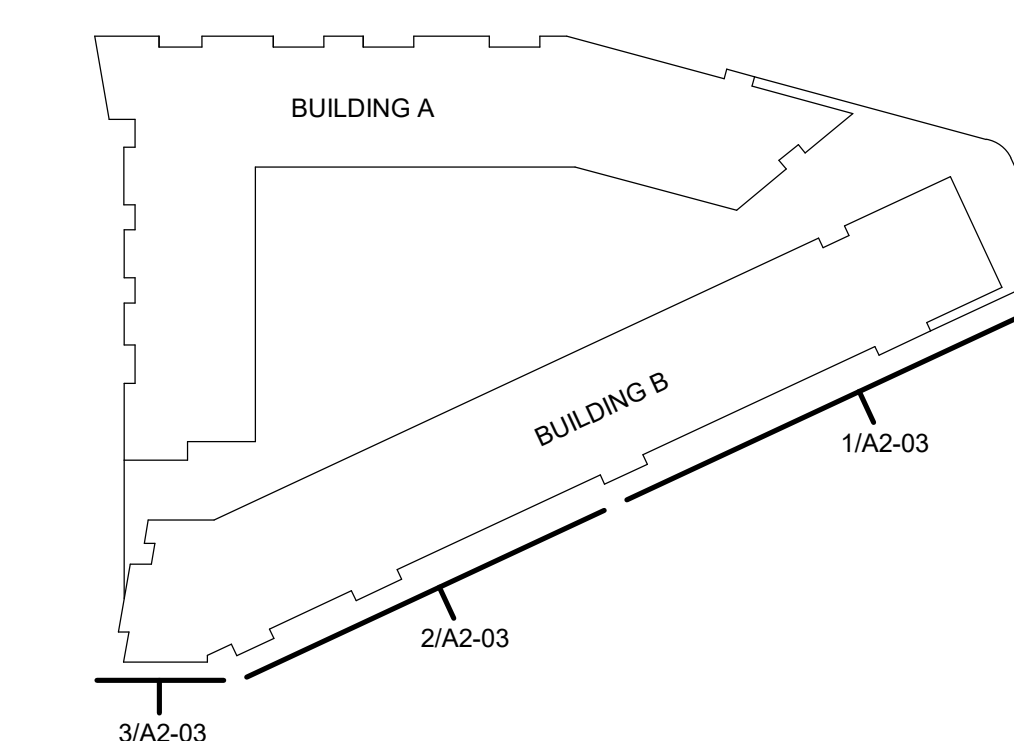
The Corners of Brookfield
20111 W Bluemound Road
Brookfield, WI 53045



Mandel Group
332 E. Kilbuck Avenue
Milwaukee, WI 53202

GENERAL NOTES: EXT. ELEVATIONS

- SEE SHEET G1-03 THRU G1-08 FOR ADDITIONAL PROJECT INFORMATION
- PROVIDE DRIP CAP FLASHING AT ALL WINDOW & DOOR HEADS
- REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATIONS
- WINDOW SUPPLIER TO PROVIDE TEMPERED GLAZING AS REQUIRED PER SECTION 2406 OF THE 2015 IBC.
- EXHAUST VENT COVERS IN EXTERIOR WALLS SHALL HAVE COLOR TO MATCH ADJACENT SIDING OR MASONRY COLOR.
- EXTERIOR MATERIALS, DETAILING, AND COLORS TO WRAP CORNER AT ALL BAY CONDITIONS AND TERMINATE AT THE INSIDE CORNER, UNLESS OTHERWISE NOTED.
- CONTROL JOINTS SHOULD OCCUR AT INSIDE CORNER WHERE WALLS MEET AND WHERE SHOWN ON ELEVATIONS. EXTEND UP ENTIRE RAINSCREEN FACE, UNLESS NOTED OTHERWISE.
- SEAL ALL WALL PENETRATIONS WITH MEMBRANE FLASHING AT SURFACE OF EXTERIOR SHEATHING.
- GENERAL CONTRACTOR TO CONSOLIDATE AND ALIGN VERTICALLY AND HORIZONTALLY ALL DRYER AND EXHAUST VENTS. COORDINATE WITH MEP, ARCHITECTURAL, AND STRUCTURAL.
- CONFIRM EXTERIOR SIGNAGE LOCATIONS WITH THE OWNER AND PROVIDE BLOCKING AND POWER AS REQUIRED. COORDINATE EXTERIOR FINISH INSTALLATION WITH SIGNAGE AS NECESSARY.



KEY PLAN

KEY NOTES

- E6 MONUMENT SIGNAGE. PROVIDE POWER TO RACEWAY.
- E8 INDIVIDUALLY ROUTED, BACKLIT, ALUMINUM LETTER SIGNAGE. PROVIDE POWER
- E9 FIRE PUMP METERS. COORDINATE WITH DESIGN/BUILD/MEFP/CONTRACTOR

EXTERIOR MATERIAL KEY

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<MV-1>	HEBRON BRICK VENEER, UTILITY SIZE COLOR: OPUS	<FCS-4>	NICHPANEL WOOD SERIES, VINTAGEWOOD COLOR: CEDAR
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<MP-4>	METAL PANEL WALL SYSTEM COLOR: BLACK	<FCS-6>	NICHPANEL SMOOTH COLOR: CUSTOM
<APC-1>	PRECAST WALL PANEL - SMOOTH FORMED FINISH	<APC-2>	PRECAST WALL PANEL - RIBBED FINISH - RECALL - US FORMLINER APPLICATION - 2189 COLUMBIA
<DCMU-1>	ECHELON CORDOVA STONE COLOR: MIDNIGHT		



3 BUILDING B - WEST ELEVATION 3
1/8" = 1'-0"



2 BUILDING B - WEST ELEVATION 2
1/8" = 1'-0"



1 BUILDING B - WEST ELEVATION 1
1/8" = 1'-0"

Revisions

DESIGN DEVELOPMENT SET
THE CORNERS OF BROOKFIELD:
PHASE II

20111 W BLUEMOUND ROAD
BROOKFIELD, WI 53045
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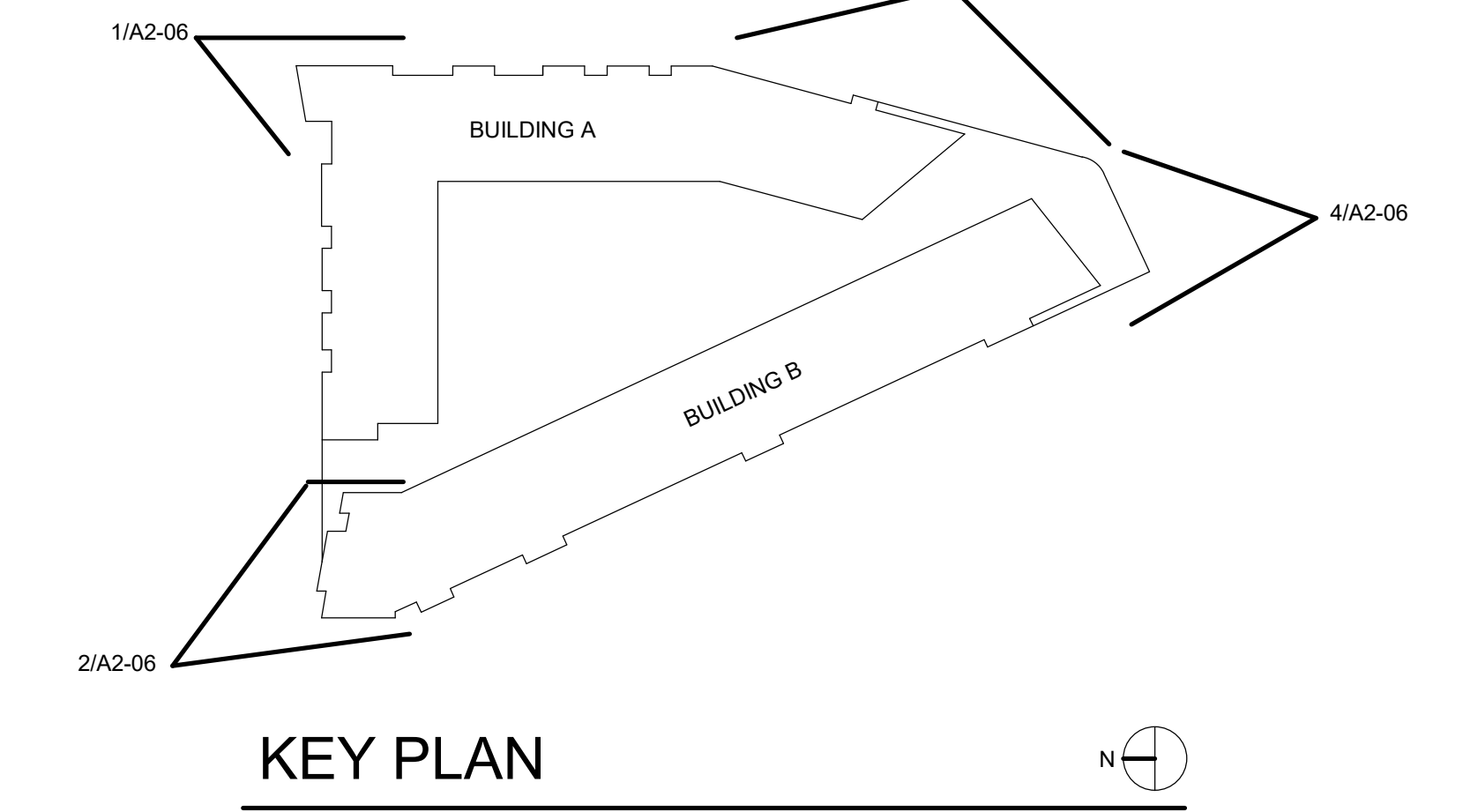
EXTERIOR ELEVATIONS

Sheet # A2-03

NOT FOR CONSTRUCTION

EXTERIOR MATERIAL KEY

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<MV-1>	HEIRION BRICK VENEER, UTILITY SIZE COLOR: OPIUS	<FCS-4>	NICHHA, WOOD SERIES, VINTAGEWOOD COLOR: CEDAR
<SMF-3> <SMF-2>	BREAK METAL TRIM COLOR: BLACK	<FCS-5>	NICHHA, WOOD SERIES, VINTAGEWOOD COLOR: CEDAR
<MP-4> <MP-5>	METAL PANEL WALL SYSTEM COLOR: BLACK	<FCS-6>	NICHIPANEL SMOOTH COLOR: CUSTOM
<APC-1>	PRECAST WALL PANEL - SMOOTH FORMED FINISH	<APC-2>	PRECAST WALL PANEL - RIBBED FINISH - RECALI - US FORMLINER APPLICATION - 2169 COLUMBIA
<DCMU-1>	ECHOLON CORDOVA STONE COLOR: MIDNIGHT		



4 PERSPECTIVE - SOUTHEAST CORNER
 1/2" = 1'-0"



2 PERSPECTIVE - NORTH WEST CORNER
 NTS



3 PERSPECTIVE - EAST CORNER
 1/2" = 1'-0"



1 PERSPECTIVE - NORTH EAST CORNER
 1/2" = 1'-0"

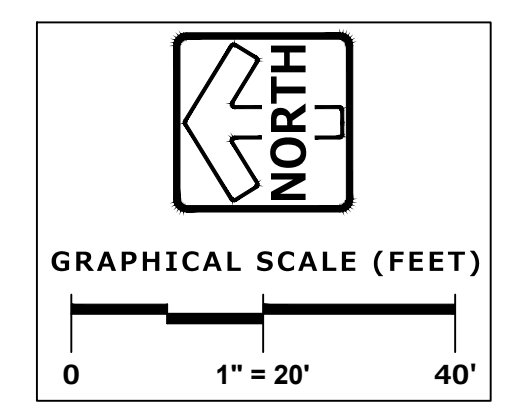
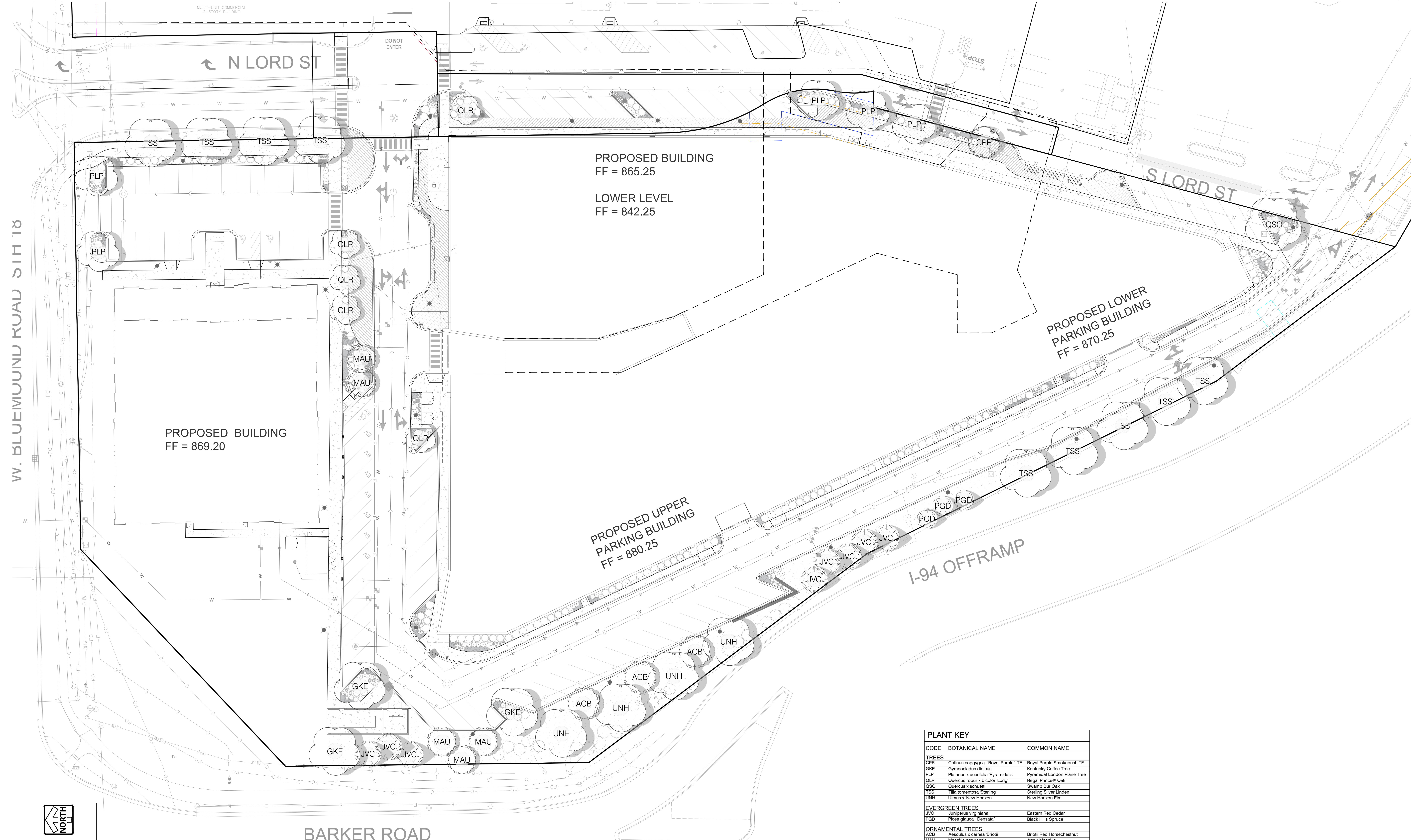
△ Revisions

DESIGN
 DEVELOPMENT
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**THE CORNERS OF
 BROOKFIELD:
 PHASE II**

20111 W BLUEMOUND ROAD
 BROOKFIELD, WI 53045
 Date Issued: 12/19/2025
 RINKA project #: 23203
 Sheet Title

**BUILDING
 PERSPECTIVES**
 Sheet # **A2-06**

NOT FOR CONSTRUCTION



PLANT KEY

CODE	BOTANICAL NAME	COMMON NAME
TREES		
CPR	<i>Cotinus coggygria</i> 'Royal Purple' TF	Royal Purple Smokebush TF
GKE	<i>Gymnocladus dioica</i>	Kentucky Coffee Tree
PLP	<i>Platanus x acerifolia</i> 'Pyramidalis'	Pyramidal London Plane Tree
QLR	<i>Quercus robur</i> x <i>bicolor</i> 'Long'	Regal Prince® Oak
QSO	<i>Quercus</i> x <i>schuettei</i>	Swamp Bur Oak
TSS	<i>Tilia tomentosa</i> 'Sterling'	Sterling Silver Linden
UNH	<i>Ulmus</i> x 'New Horizon'	New Horizon Elm
EVERGREEN TREES		
JVC	<i>Juniperus virginiana</i>	Eastern Red Cedar
PGD	<i>Picea glauca</i> 'Denata'	Black Hills Spruce
ORNAMENTAL TREES		
ACB	<i>Aesculus</i> x <i>carnea</i> 'Bicolor'	Bicolor Red Horsechestnut
MAU	<i>Maackia amurensis</i>	Amur Maackia

△ Revisions

DESIGN
 DEVELOPMENT
 SET

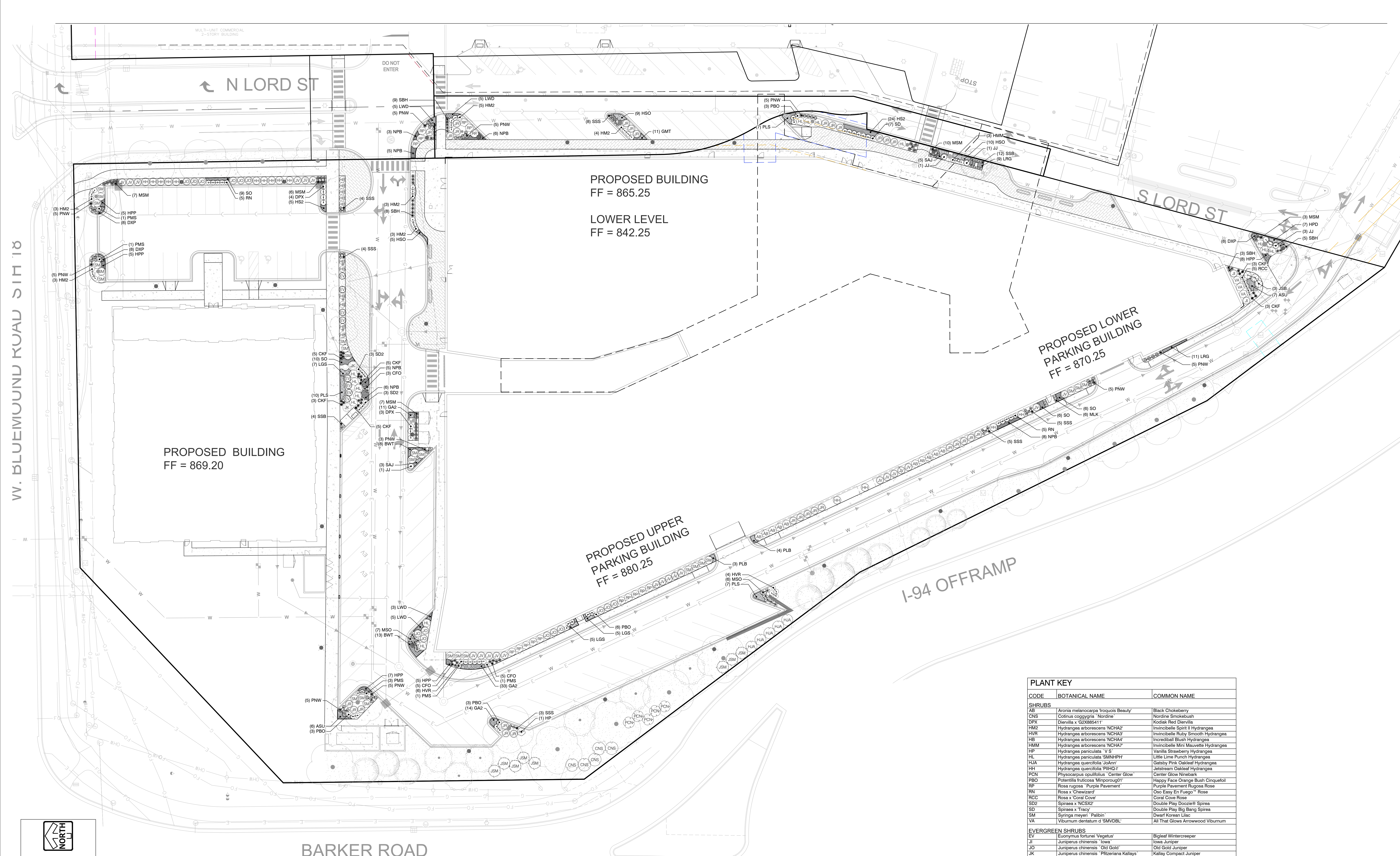
THE CORNERS OF
 BROOKFIELD:
 PHASE II

20111 W BLUEMOUND ROAD
 BROOKFIELD, WI 53045
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 Sheet Title

LANDSCAPE
 PLAN

Sheet # **L1-01**

NOT FOR CONSTRUCTION



CODE	BOTANICAL NAME	COMMON NAME
SHRUBS		
AB	<i>Aronia melanocarpa</i> 'Tropaeus Beauty'	Black Chokeberry
CNS	<i>Cornus coggygria</i> 'Nordine'	Nordine Snowbealm
DPX	<i>Dewilla x 'Goldschall'</i>	Kodlak Red Dewilla
HM2	<i>Hydrangea arborescens</i> 'NCHA2'	Invincible Spirit II Hydrangea
HVR	<i>Hydrangea arborescens</i> 'NCHA3'	Invincible Ruby Smooth Hydrangea
HB	<i>Hydrangea arborescens</i> 'NCHA4'	Invincible Blue Hydrangea
HMM	<i>Hydrangea arborescens</i> 'NCHA7'	Invincible Mini Mauvette Hydrangea
HP	<i>Hydrangea paniculata</i> 'V S'	Vanilla Strawberry Hydrangea
HL	<i>Hydrangea paniculata</i> 'SMNHHP'	Little Lime Punch Hydrangea
HJA	<i>Hydrangea quercifolia</i> 'JoAnn'	Gatsby Pink Oakleaf Hydrangea
HH	<i>Hydrangea quercifolia</i> 'PHHQ'	Jatstream Oakleaf Hydrangea
PON	<i>Physocarpus opulifolius</i> 'Center Glow'	Center Glow Niveaark
PBO	<i>Potentilla fruticosa</i> 'Mimporough1'	Happy Face Orange Bush Cinquefoil
RP	<i>Rosa rugosa</i> 'Purple Pavement'	Purple Pavement Rugosa Rose
RN	<i>Rosa x 'Chewizard'</i>	Oro Easy En Fuego™ Rose
RCC	<i>Rosa x 'Coral Cove'</i>	Coral Cove Rose
SD2	<i>Spiraea x 'NCSX2'</i>	Double Play Doozie® Spirea
SD	<i>Spiraea x 'Tracy'</i>	Double Play Big Bang Spirea
SM	<i>Syringa meyeri</i> 'Palibin'	Dwarf Korean Lilac
VA	<i>Viburnum dentatum</i> d 'SMVDBL'	All That Glows Arrowwood Viburnum
EVERGREEN SHRUBS		
EV	<i>Euonymus fortunei</i> 'Vegetus'	Bigleaf Wintercreeper
LI	<i>Juniperus chinensis</i> 'Iowa'	Iowa Juniper
JO	<i>Juniperus chinensis</i> 'Old Gold'	Old Gold Juniper
JK	<i>Juniperus chinensis</i> 'Pfitzeriana Kallays'	Kallay Compact Juniper
JR	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper
JJ	<i>Juniperus chinensis</i> 'SMNUCHM'	Montana Moss Juniper
JSB	<i>Juniperus sabina</i> 'Buffalo'	Buffalo Juniper
JSM	<i>Juniperus scopulorum</i> 'Moonglow'	Moonglow Juniper
JV	<i>Juniperus virginiana</i> 'Grey Owl'	Grey Owl Juniper
PMS	<i>Pinus mugo</i> 'Stowmound'	Stowmound Mugo Pine
ORNAMENTAL GRASSES		
OPD	<i>Calamagrostis x a 'Overdam'</i>	Overdam Reed Grass
CKF	<i>Calamagrostis x a 'Karl Foerster'</i>	Karl Foerster Reed Grass
MLK	<i>Miscanthus sinensis</i> 'Little Kitten'	Little Kitten Eulalia Grass
MSM	<i>Miscanthus sinensis</i> 'Maopartus'	Maopartus Miscanthus
MSO	<i>Miscanthus sinensis</i> 'Octoberfest'	Octoberfest Miscanthus
PNW	<i>Panicum virgatum</i> 'Northwind'	Northwind Switch Grass
SBH	<i>Schizachyrium scoparium</i> 'B. H.'	Blue Heaven Little Bluestem
SSS	<i>Schizachyrium scoparium</i> 'Smoke Signal'	Smoke Signal Little Bluestem
SSB	<i>Schizachyrium scoparium</i> 'The Blues'	The Blues Little Bluestem
PERENNIALS		
ASU	<i>Achillea millefolium</i> 'Summer Berries'	Summer Berries Mix Common Yarrow
BYT	<i>Bergenia cordifolia</i> 'Winterglut'	Winterglow Heartleaf Bergenia
DXP	<i>Dianthus x 'WP Passion'</i>	Scout First Passion Dianthus
GA2	<i>Gaillardia aristata</i> 'Arizona Sun'	Arizona Sun Blanket Flower
GMF	<i>Geum x 'Mali Tai'</i>	Mali Tai Geum Rose
HSD	<i>Hemerocallis</i> 'Stella De Oro'	Stella De Oro Daylily
HPD	<i>Hemerocallis x 'Purple D'oro'</i>	Purple D'oro Daylily
HSD	<i>Hemerocallis x 'Stella in Red'</i>	Stella in Red Daylily
HPP	<i>Heuchera m 'Palace Purple'</i>	Palace Purple Coral Bells
LGS	<i>Leucanthemum superbum</i> 'Goldfinch'	Goldfinch Shasta Daisy
LDG	<i>Leucanthemum x superbum</i> 'Real Goldcup'	Real Goldcup Shasta Daisy
LWD	<i>Leucanthemum x superbum</i> 'Whoopee-Daisy'	Whoopee-Daisy Shasta Daisy
NPB	<i>Nepeta x faassenii</i> 'Purrsian Blue'	Purrsian Blue Catmint
PLB	<i>Perovskia atriplicifolia</i> 'Luzitl'	Lacey Blue Russian Sage
PLS	<i>Perovskia atriplicifolia</i> 'Little Spire'	Little Spire Russian Sage
SAJ	<i>Sedum</i> 'Autumn Joy'	Autumn Joy Sedum
SO	<i>Symphyotrichum</i> o 'October Skies'	October Skies Fall Aster
SYMBOL BOTANICAL NAME COMMON NAME		
GROUND COVERS		
	Turf	Reinders - Cadet 70/30 Fescue/Blue Mix

△ Revisions

DESIGN
DEVELOPMENT
SET
THE CORNERS OF
BROOKFIELD:
PHASE II

20111 W BLUEMOUND ROAD
BROOKFIELD, WI 53045
Date Issued: 09/20/2024
RINKA project #: 23203
Sheet Title

LANDSCAPE
PLAN
Sheet # L1-02

NOT FOR CONSTRUCTION

GENERAL PLANTING NOTES

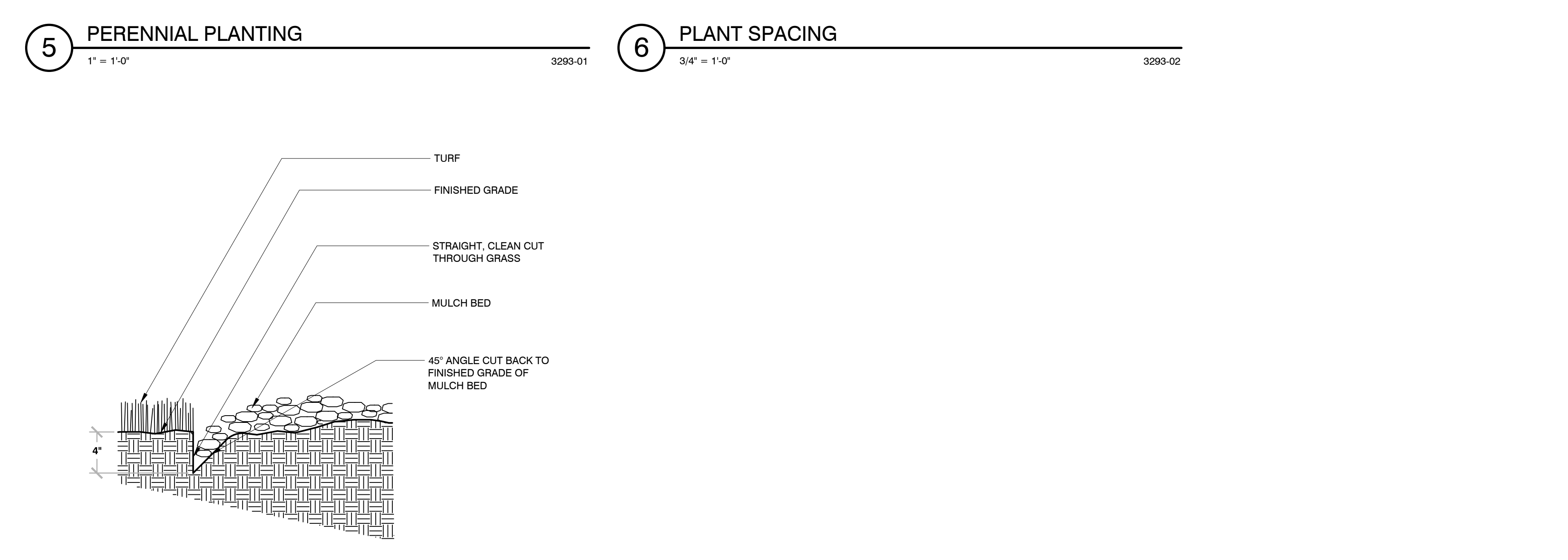
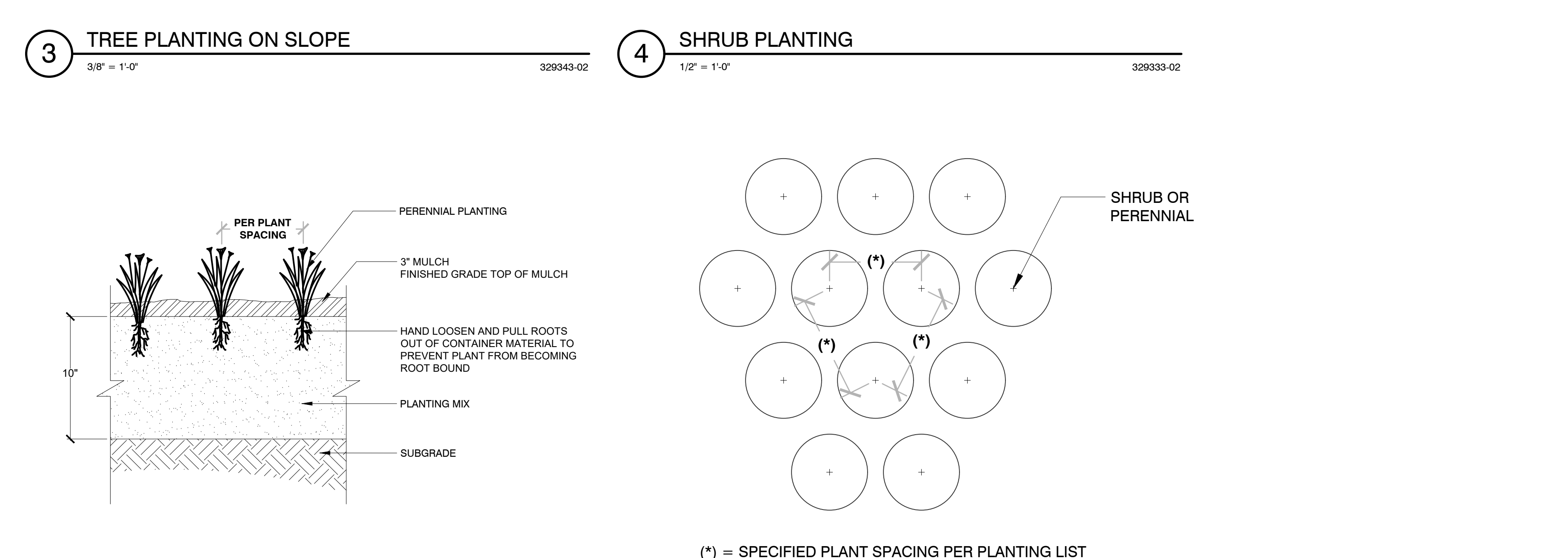
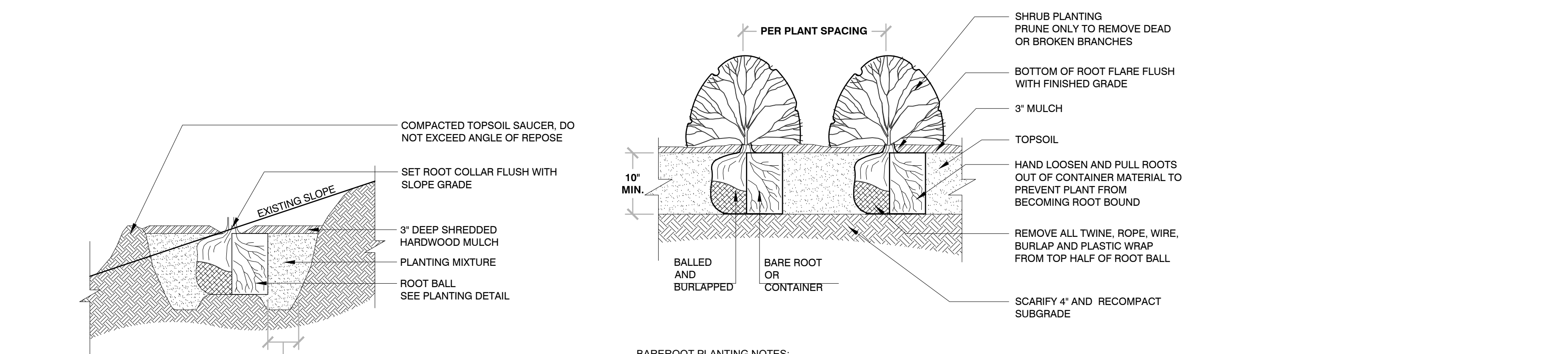
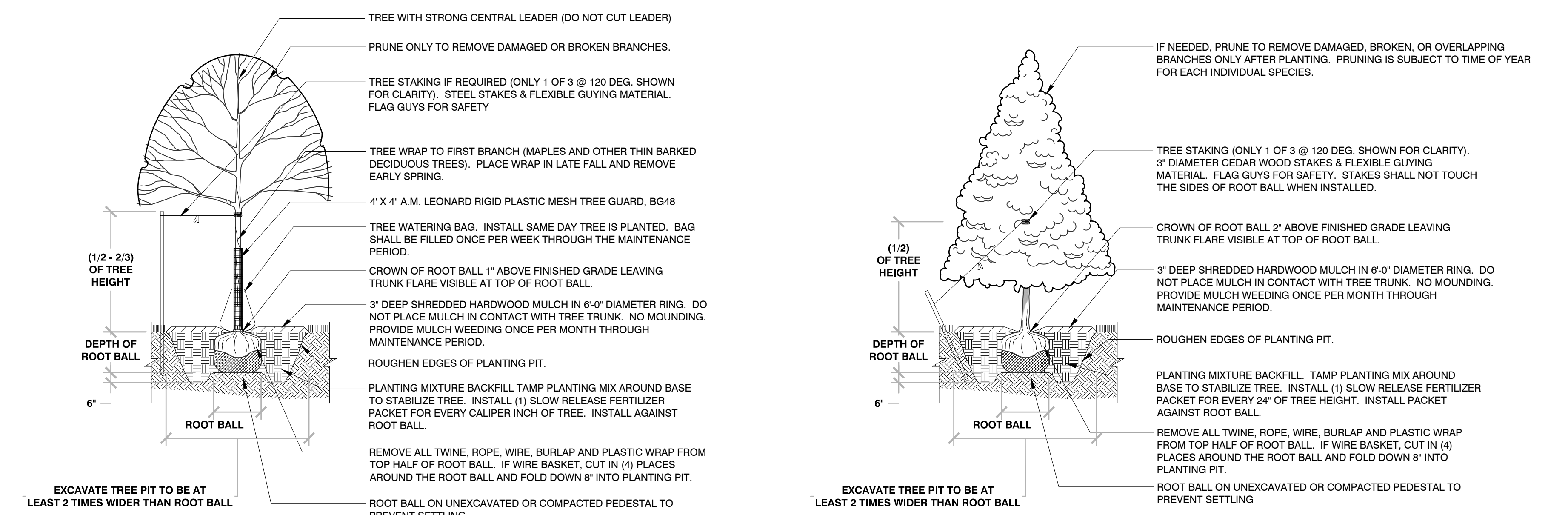
- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
- TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MULTI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
- ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
- BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED WITH BIODEGRADABLE MATERIAL. THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
- ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
- ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
- TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE ARCHITECT MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- WHILE PLANTING TREES AND SHRUBS, BACKFILL 1/2 OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
- THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- OAK TREES SHALL BE TREATED FOR TWO-LINE CHESTNUT BORER BOTH AT THE TIME OF INSTALLATION AND DURING THE SECOND GROWING SEASON.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
- ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAR DEFINITION BETWEEN TURF AND PLANTING AREAS.
- ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEDD FREE MANURE OR CLASS 1 ORGANIC MATTER.
- FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
- THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X 6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEED AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
- ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.
- TREES SHALL BE INSTALLED NO CLOSER THAN:
 - 10 FEET FROM ANY FIRE HYDRANT
 - 7 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, AND WATER SERVICE
- THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
- THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
- THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
- PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

SOIL PLACEMENT NOTES

- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERNAL PARKING ISLANDS SHALL BE LOOSENEED TO A DEPTH OF 30".
- THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BEDS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
- TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
- SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
- PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENEED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
- DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
- ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
CPH	1	Cotinus coggygria 'Royal Purple'	Royal Purple Smokebush	2" HL	12' x 12' W
CKE	3	Kentucky Coffee Tree	Kentucky Coffee Tree	2.5" Cal	50' x 30' W
PLP	5	Platanus x acerifolia 'Pyramidalis'	Pyramidal London Plane Tree	2" Cal	50' x 30' W
OLR	5	Quercus robur x bicolor 'Long'	Regal Prince Oak	2" Cal	40' x 18' W
QSD	3	Quercus x laevis 'Swamp Bur Oak'	Swamp Bur Oak	2.5" Cal	70' x 45' W
TSS	9	Tilia tomentosa 'Sterling'	Sterling Silver Linden	2" Cal	50' x 40' W
LNH	4	Ulmus x 'New Horizon'	New Horizon Elm	2.5" Cal	50' x 40' W
EVERGREEN TREES					
JVC	6	Juniperus virginiana	Eastern Red Cedar	8" HL	36" x 17" W NATIVE
PGD	3	Picea glauca 'Demarest'	Black Hills Spruce	6" HL	30' x 15' W
ORNAMENTAL TREES					
ACB	3	Aesculus x carnea 'Brioti'	Brioti Red Horsechestnut	2" Cal	30' x 30' W
MAU	5	Maackia amurensis	Amur Maackia	2" Cal	25' x 25' W
SHRUBS					
AB	10	Aronia melanocarpa 'Incoquo Beauty'	Black Chokeberry	24" HL	3' T x 5' W
CNS	5	Cotinus coggygria 'Nordine'	Nordine Smokebush	24" HL	10' T x 10' W
DPX	7	Diervilla x G2X88411	Kodiak Red Diervilla	24" HL	3' T x 4' W
HMS	21	Hydrangea arborescens 'NCHA2'	Invincibelle Mini Hydrangea	24" HL	4' T x 4' W
HVR	10	Hydrangea arborescens 'NCHA3'	Invincibelle Ruby Smooth Hydrangea	24" HL	3' T x 3' W
HB	11	Hydrangea arborescens 'NCHA4'	Incrediball Blush Hydrangea	24" HL	6' T x 9' W
HBM	2	Hydrangea arborescens 'NCHA7'	Invincibelle Mini Mauvette Hydrangea	24" HL	3' T x 3' W
HP	2	Hydrangea paniculata 'V.S'	Vanilla Strawberry Hydrangea	24" HL	6' x 5' W
HL	17	Hydrangea paniculata 'SMNHPPH'	Little Lime Punch Hydrangea	24" HL	4' T x 5' W
HJA	5	Hydrangea quercifolia 'Jokoni'	Quincy Pink Oakleaf Hydrangea	36" HL	6' T x 6' W
HH	14	Hydrangea quercifolia 'PHHC1'	Jethroform Oakleaf Hydrangea	24" HL	5' T x 5' W
PCN	5	Physocarpus opulifolius 'Center Glow'	Center Glow Ninebark	36" HL	6' T x 8' W
PBO	15	Potentilla fruticosa 'Mimporogoo1'	Happy Face Orange Bush Cinquefoil	18" HL	2.5' T x 3' W
RP	15	Rosa rugosa 'Purple Pavement'	Purple Pavement Rugosa Rose	24" HL	5' T x 5' W
RN	10	Rosa x 'Chewizard'	Oso Easy En Fuego Rose	24" HL	4' T x 3' W
RCC	10	Rosa x 'Coral Cove'	Coral Cove Rose	24" HL	3' T x 3' W
SDZ	6	Spiraea x 'W232'	Double Play Double Spirea	18" HL	3' T x 3' W
SD	7	Spiraea x 'Tracy'	Double Play Big Bang Spirea	18" HL	3' T x 3' W
SM	25	Syringia mayeri 'Palatin'	Dwarf Korean Lilac	24" HL	5' T x 5' W
YA	6	Viburnum dentatum s/ 'SHVDBL'	All That Glazes Arrowwood Viburnum	24" HL	6' T x 5' W
EVERGREEN SHRUBS					
EY	4	Euonymus fortunei 'Vegetus'	Bigleaf Wintercreeper	24" HL	4' T x 5' W
JJ	4	Juniperus chinensis 'Iowa'	Iowa Juniper	7" HL	10' T x 5' W
JO	15	Juniperus chinensis 'Old Gold'	Old Gold Juniper	24" W	3' T x 3' W
JK	2	Juniperus chinensis 'Pflizeriana Kalleys'	Kalleys Compact Juniper	18" HL	3' T x 6' W
JR	29	Juniperus chinensis 'Sea Green'	Sea Green Juniper	18" HL	6' T x 6' W
JJ	9	Juniperus chinensis 'SMNHCHM'	Montana Moss Juniper	24" W	3' T x 4' W
JSB	6	Juniperus sabina 'Buffalo'	Buffalo Juniper	2" W	1' T x 7' W
JSM	8	Juniperus scopulorum 'Moonglow'	Moonglow Juniper	7" HL	20' T x 8' W
JVJ	23	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	24" HL	3' T x 5' W
PKS	7	Pinus mugo 'Sloemound'	Sloemound Mugo Pine	24" HL	3' T x 3' W
ORNAMENTAL GRASSES					
CFO	13	Calamagrostis x a 'Overdam'	Overdam Reed Grass	1 gal.	24" T x 24" W
CKF	30	Calamagrostis x a 'Karl Foerster'	Karl Foerster Reed Grass	1 gal.	36" T x 24" W
MLK	6	Miscanthus sinensis 'Little Kitty'	Little Kitty Korean Grass	1 gal.	15" T x 15" W
MSM	36	Miscanthus sinensis 'Malepartus'	Malepartus Miscanthus	1 gal.	48" T x 30" W
MSO	13	Miscanthus sinensis 'Oktoberfest'	Oktoberfest Miscanthus	1 gal.	48" T x 36" W
PNW	48	Panicum virgatum 'Northwind'	Northwind Switch Grass	1 gal.	42" T x 36" W
SBH	33	Schizachyrium scoparium 'B. H.'	Blue Heaven Little Bluestem	1 gal.	30" T x 30" W
SSS	29	Schizachyrium scoparium 'Smoke Signal'	Smoke Signal Little Bluestem	1 gal.	36" T x 24" W
SSB	18	Schizachyrium scoparium 'The Blues'	The Blues Little Bluestem	1 gal.	18" T x 18" W
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
PERENNIALS					
ASU	20	Achillea millefolium 'Summer Berries'	Summer Berries Mix Common Yarrow	4.5" cont.	24" o.c.
BWT	21	Bergenia cordifolia 'Winterglut'	Winterglut Heartleaf Bergenia	4.5" cont.	18" o.c.
DXP	32	Dianthus x WP 'Passion'	Scent First Passion Dianthus	4.5" cont.	12" o.c.
GAF	38	Gallardia arisata 'Arizona Sun'	Arizona Sun Blanket Flower	4.5" Cont.	14" o.c.
GMT	11	Geum x 'Mai Tai'	Mai Tai Grecian Rose	4.5" Cont.	14" o.c.
HBO	24	Hemerocallis 'Stella De Oro'	Stella De Oro Daylily	4.5" Cont.	20" o.c.
HPO	14	Hemerocallis x 'Purple D'oro'	Purple D'oro Daylily	4.5" Cont.	20" o.c.
HSD	29	Hemerocallis x 'Stella in Red'	Stella in Red Daylily	4.5" cont.	18" o.c.
HPP	38	Heuchera m 'Palace Purple'	Palace Purple Coral Bells	4.5" cont.	18" o.c.
LBS	17	Leucanthemum superbum 'Goldilocks'	Goldilocks Shasta Daisy	4.5" cont.	22" o.c.
LRS	20	Leucanthemum x superbum 'Real Goldcup'	Real Goldcup Shasta Daisy	4.5" cont.	18" o.c.
LWD	18	Leucanthemum x superbum 'Whoops-a-Daisy'	Whoops-a-Daisy Shasta Daisy	4.5" cont.	22" o.c.
NPS	33	Nipota x 'hassani'	Puritan Blue Catmint	4.5" cont.	24" o.c.
PLB	7	Perovskia atriplicifolia 'Liseli'	Lacey Blue Russian Sage	4.5" cont.	24" o.c.
PLS	24	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	4.5" cont.	24" o.c.
SAJ	8	Sedum 'Autumn Joy'	Autumn Joy Sedum	4.5" Cont.	12" x 24" W
SD	11	Symphyctichium x 'October Skies'	October Skies Fall Aster	4.5" cont.	20" o.c.
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
	15,114 sf	Turf	Reinders - Cadet 70/30 Fescue/Blue Mix	seed	



△ Revisions

DESIGN
 DEVELOPMENT
 SET
 THE CORNERS OF
 BROOKFIELD:
 PHASE II

20111 W BLUEMOUND ROAD
 BROOKFIELD, WI 53045
 Date Issued: 09/20/2024
 RINKA project #: 23203
 Sheet Title

LANDSCAPE
 GENERAL NOTES
 & DETAILS

Sheet # **L2-01**

NOT FOR CONSTRUCTION

Redline changes to the Zoning Code (Signage)

17.08(10)(b): Changeable and movable copy signs which are designed to allow the display of messages to be changed, whether manually or electronically, may be allowed as a conditional use in any B-2, B-3, or I-1 Zoning District, subject to the following conditions and limitations:

17.08(10)(b)2.: There shall be only one changeable and movable copy sign on each lot or parcel of land. The changeable and movable copy sign shall not be incorporated into a wall- or building-mounted sign.

17.08(10)(b)12.: No conditional use permit may be issued for a changeable and movable copy sign unless the parcel on which the sign is located contains at least 20,000 square feet, and unless the location of the sign meets all offset and setback requirements of the applicable zoning district, unless other approved by the Plan Commission for just cause..

17.08(10)(b)13.: Changeable copy signs in the I-1 Institutional District shall not be located on a parcel of land that is across from, or shares a lot line adjacent to, a parcel of land located in a residential zoning district.

Ord. No.: 2026-03

**ORDINANCE AMENDING CERTAIN SECTIONS IN CHAPTER 17 OF
THE TOWN OF BROOKFIELD MUNICIPAL CODE**

NOW THEREFORE, the Town Board of the Town of Brookfield, Wisconsin do ordain as follows:

SECTION 1: The introduction paragraph of Section 17.08(10)(b) of the Town Code is hereby repealed and recreated to read as follows:

- (b) Changeable and movable copy signs which are designed to allow the display of messages to be changed, whether manually or electronically, may be allowed as a conditional use in any B-2, B-3, or I-1 Zoning District, subject to the following conditions and limitations:

SECTION 2: Section 17.08(10)(b)2. of the Town Code is hereby repealed and recreated to read as follows:

- 2. There shall be only one changeable and movable copy sign on each lot or parcel of land. The changeable and movable copy sign shall not be incorporated into a wall- or building-mounted sign.

SECTION 3: Section 17.08(10)(b)12. of the Town Code is hereby repealed and recreated to read as follows:

- 12. No conditional use permit may be issued for a changeable and movable copy sign unless the parcel on which the sign is located contains at least 20,000 square feet, and unless the location of the sign meets all offset and setback requirements of the applicable zoning district, unless other approved by the Plan Commission for just cause.

SECTION 4: Section 17.08(10)(b)13. of the Town Code is hereby created to read as follows:

- 13. Changeable copy signs in the I-1 Institutional District shall not be located across from or along a lot line adjacent to a residentially-zoned district.

SECTION 5: All other provisions of the Town Code shall remain in full force and effect.

All ordinances or parts of this Ordinance conflicting or contravening the provisions of this Ordinance are hereby repealed. This Ordinance shall take effect upon passage and posting or publication as provided by law.

PASSED AND ADOPTED by the Town Board of the Town of Brookfield, Waukesha County, Wisconsin this ____ day of _____, 2026.

BY: _____
KEITH HENDERSON, Chairman

BY: _____
STEVE KOHLMANN, Supervisor

BY: _____
JOHN CHARLIER, Supervisor

BY: _____
MATTHEW PARIS, Supervisor

BY: _____
RYAN STANELLE, Supervisor

ATTEST: _____
Emily Howells, Town Clerk